

**CITY OF NORTH PLAINS PLANNING COMMISSION
REGULAR SESSION AGENDA
North Plains Senior Center
31450 NW Commercial Street
WEDNESDAY, April 8, 2015 - 7:00 P.M.**

1. **CALL TO ORDER**
2. **FLAG SALUTE**
3. **ROLL CALL**
4. **PUBLIC COMMENTS**
(This time is provided for questions or statements by persons in the audience on any item of Planning Commission business, except those items that appear on this agenda. Comments shall be limited as determined by the Chairperson.)
5. **APPROVAL OF MINUTES**: Review and approval of March 11, 2015, Regular Session Minutes
6. **PUBLIC HEARING**
None Scheduled
7. **NEW BUSINESS**
 - A. Discussion of Community Vision Process: Kirstin Greene of Cogan Owens Greene, LLC
 - B. Discussion of Residential Design Guidelines (Hierarchy List)
 - C. Discussion and review of Municipal Chapters 16.05, 16.125, 16.130, 16.135, and 16.150 Street Standards
 - D. Review of Land Use/Building Permit Project List
8. **UNFINISHED BUSINESS**
None Scheduled
9. **COMMISSIONER COMMENTS**
10. **STAFF COMMENTS**
11. **ADJOURNMENT**

The Planning Commission meetings are normally held at the North Plains Senior Center, 31450 NW Commercial Street, North Plains, Oregon. Meetings will be held on the following dates at 7:00 p.m. Meeting location is subject to change.

Wednesday, May 13, 2015

Wednesday, June 10, 2015

Wednesday, July 8, 2015

**CITY OF NORTH PLAINS PLANNING COMMISSION.
REGULAR SESSION MINUTES
March 11, 2015, 7:00 P.M.
North Plains Senior Center
31450 NW Commercial Street**

1. Chairperson King called the meeting to order at 7:00 p.m.
2. The pledge of allegiance was led by Chairperson King.

3. ROLL CALL

Members: Chair Stewart King, Vice Chair Heather LaBonte, Doug Nunnenkamp, Garth Eimers, Larry Gonzales and Lonnie Knodel.

Absent: Daryl Olson

Ex-Officio: City Councilor David Hatcher

Staff: City Manager Martha DeBry, City Planner Heather Austin, City Attorney Chris Crean, and City Recorder Margaret Reh

Audience: Vince Biggi, Stacey Reed, Mike Robinson, Alex Hurley, Rob Bass, Trista Papen, Erickia Dunbar, Bradley Petty, Aaron Riding, Jennifer Riding, Chris Goodell

4. PUBLIC COMMENTS

None were forthcoming.

5. APPROVAL OF MINUTES

- A. Approval of the February 11, 2015, Regular Session Minutes.

Motion by Eimers. Second by Gonzales to approve the February 11, 2015, Regular Session Minutes. Motion was approved unanimously.

6. PUBLIC HEARING (Continued from February 11, 2015)

- A. The quasi-judicial Public Hearing was continued from February 11, 2015 to hear comments regarding the preliminary plat for the McKay Creek Crossing Development. This is a 58-lot single family residential subdivision proposal to be located at 9960 NW 307th Avenue in North Plains. Tax Lot #1N301DD1601 File No: 14-014.

Chair King stated this was a continued public hearing for the McKay Creek Crossing subdivision. The record was remained opened from the February 11, 2015 Planning Commission meeting. King stated that he again was going to step down due to a conflict of interest. The Chair was handed over to Vice Chair LaBonte who then asked if there was any ex-parte contact that any of the Commissioners wished to declare. Hearing none, LaBonte asked for the staff report.

Heather Austin of 3J Consulting, 5075 SW Griffith Drive, Suite 150, Beaverton, Oregon 97005, presented the staff report. Austin addressed the issues of the open questions from the last meeting including the variance to the significant natural resource and trail alignment to McKay Creek. Austin stated staff had no proposed changes to the findings that were submitted previously and that staff recommends approval of the application.

Discussion ensued regarding the staff report and the application.

The applicant was asked to come forward. Mike Robinson, 1120 NW Couch Street, Portland, Oregon, Alex Hurley and Chris Goodell, AKS Engineering, 12965 SW Herman Road, Suite 100, Tualatin, Oregon addressed the issues that we brought forward in earlier discussions. Many of the questions were addressed in the documents that were submitted with the Commission packets and Robinson elaborated more for the Commissioners.

The Planning Commission began a discussion with concerns of flooding. Stacy Reed, AKS Engineering, 12965 SW Herman Road, Suite 100, Tualatin, Oregon, is a Wetland Scientist and entered into the discussion also.

Parking became another topic of discussion. The code does not require on-street parking. It was suggested to flip the houses to perhaps provide more on street parking.

LaBonte produced a map of the current watershed she received from Washington County that she stated was more up to date than the maps the applicant had. She received it from Washington County staff. She is concerned about residents being required to acquire flood insurance. Upon questioning it was determined that this map provided by LaBonte is not yet adopted.

LaBonte requested to hear public comment from proponents. There were none.

LaBonte requested to hear public comment from opponents.

Aaron Riding, 10065 NW 307th Avenue, North Plains, Oregon, repeated the dimensions of the proposed lots in relation to the lack of available parking on the street. He stated 307th has the same lot dimensions and the neighborhood is having issues with on street parking. Riding provided photos of some areas with these parking issues. He addressed the safety aspect as children may be on the road. The trucks from Recology and the grain mill driving down the road also cause concerns. He also commented on the lack of amenities being provided in the development. He is also concerned by the amount of garbage that will be generated and not having a receptacle provided. He is a kayaker and stated he paddled down McKay Creek and found waters flooding over the proposed Tract A area. He also commented that the filbert and apple orchards have been inactive for a long time and will have little bearing on the quality of the water.

Bradley Petty, 10073 NW 307th Avenue, North Plains, Oregon, expressed concerns with fire and police protection. He feels the closeness of the homes present a fire hazard. He is also concerned about safety—he feels that kids will wander in the back yard and the creek is dangerous. He feels the quality of the homes and the small lots will lower the value of all the homes in North Plains. Petty addressed the code and density requirements. He stated his opinion that the small city park located on Curtis Street is not usable. It is too small to accommodate the neighborhood. He would like to see some type of park in place in one of the lots requiring a variance in this subdivision. He also has concerns with limited parking issue-one car in the driveway and one in the garage. It is inconvenient if someone owns a third car for a child. Additional parking along the road can help. Petty also suggested that instead of approving the variance, make the lots wider rather than longer and orientate the

house accordingly.

Trista Papen, 10125 NW Curtis, North Plains, Oregon asked if it would be possible for the builder to build the home with a two car garage to provide a bit more parking. She would like to see alley loaded garages. She also has concerned about home values depreciating in value. Papen stated that she has heard the developer north of this property is considering creating lots on the larger end of the zoning requirements for lot size.

LaBonte asked if there were any other comments. There were none. A short break was taken at 9:05 before returning for the rebuttal.

A rebuttal was provided to the applicant. Robinson stated the applicant would be willing to withdraw seven of the lots from the variance request. They could withdraw lots 6, 7, 8, 9, 15, 16, 17 but would retain lots 18-25 in the variance request. They would prefer the Commission to approve the entire variance, but could make this concession. They do still feel the variance is justified. They will not be altering the size of the lots.

Robinson again addressed that there is no standard in the code to provide on-street parking. They do meet the requirement of two off-street parking spaces. Robinson also referenced the results from the traffic report and the storm water report that address the issues raised by the opponents. The applicant would like to see the Commission make a decision based on the criteria in the Code. The applicant would like to work with the variances to equalize the playing field for all the future homeowners. He also addressed the issue of parks. There are system development charges required for each lot in the subdivision that the city can decide how they want to use those funds in improving the park system.

The size of the garages was addressed. Biggi is hoping to have 16-18 foot driveways that will lead to two car garages to provide off-street parking. 55% of this site is open space. The safe harbor rule is what called for the 75 foot riparian buffer. This buffer is to protect the McKay Creek resource, and even with the variance approval, mitigation will still provide that protection for the creek.

Hurley addressed lot coverage and stated the site plans will be designed to meet the requirement of less than 65% lot coverage.

The applicant stated that they meet the standards for the 58 lot subdivision and asked the Planning Commission to approve the application and a variance, but they would be agreeable to the variance to just include lots 18-25.

Discussion ensued between the members of the Commission sharing their opinions regarding what should be allowed and what is being met in regards to the variance and street standards.

Concern was expressed with the CWS easement and if the access point will be paved. The concern is that if that area floods how will CWS be able to access their easement if their paved access point is flooded. The applicant responded that CWS will take the necessary precautions and will be able to take care of that issue when they are designing that access point.

Planning commissioners noted again that the term “aspiration” was used in regards to alley accessed garages and it was suggested that the implementation language within the code should be improved to make alley loading an objective.

The inclination is to deny the variance because the owner can achieve an economic benefit without approval of the variance.

It was suggested that language be required to communicate to the homeowner indicating what they can and cannot do within the buffer. The applicant asked for a rebuttal since this was being introduced as new evidence and Robinson wanted a chance to comment. The applicant would prefer that the Commission not adopt a condition of approval that mandates a description of requirements of use in the buffer area to the landowner.

Commissioner Eimers made a motion to approve the application without the variance. The motion died due to lack of a second because the Commission was still in the public hearing.

Discussion ensued to the options the Commission had for approval or denial or further action. There was discussion about the application process and the next steps that may be taken, should the Commission deny the application, and if it moves forward for appeal to the City Council.

Vice Chair LaBonte closed the public hearing at 9:47 p.m.

A motion was made by Eimers, with a second by Nunnenkamp, for the approval of the McKay Creek Crossing subdivision application without the variance. Austin stated, as a point of order, that there is also a flood plain permit on the table that is part of the application that would need to be included in the motion. LaBonte also commented that the Commission needed to address the conditions of approval. Crean suggested that the motion be withdrawn. The motion was withdrawn by consent of the moving party.

Discussion ensued regarding the process and changes made to the conditions of approval between when the Commission packet was distributed prior to the February meeting, information received at the February 11, 2015 public hearing, and through the continued public hearing this night, March 11, 2015. Planning Commission decision is based on these findings in staff report with modifications. This included: 1.) that the Planning Commission shall determine the street names; 2.) street lights on city local streets shall be installed as per IES standards and City standards; 3.) submitted into record was a document with revised conditions for street standards from Washington County. The Planning Commission feels the applicant did not meet the minimum criteria for reasonable use to allow a variance of land based on evidence and testimony on record.

The net result of the conditions of approval have been recorded by Heather Austin, City Planner and will be published in the Final Findings report.

Motion by Eimers for the approval of the McKay Creek Crossing application with agreed upon conditions of approval and without the approval of the variance. Motion was seconded by Nunnenkamp. The motion carried unanimously.

Commissioner King returned to the position of Chair.

7. NEW BUSINESS

A. Review of Land Use/Building Permit Project List

The Commission received a copy of the project list. No discussion took place.

8. UNFINISHED BUSINESS

The suggestion was made to review Municipal Code 16.150 Street Standards at the next Commission meeting. King stated this should have been under new business.

Eimers stated he would like to review of implementation of architectural standards to the vision statement. Point of order was stated that it was suggested the Commissioners put together their concerns and comments and submit them to staff. A request has been made that a checklist of items be created that the group can review at a future meeting. The Commission will be able to work on the Development Code based on what the steering committee produces.

DeBry stated there will not be time to review the architectural standards within three weeks and have a staff report prepared, and no resources were available to outsource the work. This type of work is not reimbursed by planning fees.

Discussion ensued regarding the scope of work covered by the Vision for the Comprehensive Plan and the consultant that was hired to coordinate this effort. It was suggested that the Planning Commission schedule a work session. This will need to be coordinated and timed so there is not a duplication of efforts. Sufficient standards need to be established to provide guidance to developers that is consistent with the vision that will be developed through the Comprehensive Plan revision process.

It was suggested that for next meeting on April 8, 2015 each Commissioner submit concerns and determine what we would need to work on in a workshop. The Commission will then need to schedule a workshop.

Discussion ensued regarding code standards that have been submitted to DLCD. DeBry stated a hearing may be scheduled in May. The Commission would like to review and discuss the documents that were submitted to DLCD. This may be beneficial to the new members of the Commission.

Eimers raised an issue regarding the Request for Comments form he received regarding a minor modification change in the McKay Fields subdivision. He stated there is something lacking in the process and has an issue with that. He felt the notice was not adequately specific, and residents should be able to operate off the document without reviewing additional information. Discussion ensued.

9. COMMISSIONER COMMENTS

LaBonte commented on the Polygon development and their use of yard easements. She was wondering how these easements affect the impervious surface. Discussion ensued.

Gonzales commented that this process was eye opening. Discussion ensued. DeBry stated we are now seeing the result of developments that were approved in 2005-2007. Mandates from the state drove the density requirements at that time. There wasn't a demand to change the code until now. We need to finish the Comprehensive Plan before we can work on large-scale changes to the code. Discussion ensued regarding perhaps putting some type of incremental codes in place while the Plan is being revised.

Eimers inquired about the Planning Commissions responsibility to report to the Council on Committee for Citizen Involvement (CCI). Discussion ensued.

Eggiman property may be moving forward. He may be asking for a zone change. No documentation has been received at City Hall yet.

Discussion ensued regarding the location for holding the Planning Commission meetings. There have been some meetings where the noise from the group meeting downstairs has been very disruptive. The Commission decided they would like to continue meeting at the Senior Center.

10. STAFF COMMENTS

All comments have been stated previously throughout the night.

11. ADJOURNMENT.

Chairperson King adjourned the meeting at 10:21 p.m. The next scheduled regular session of the Planning Commission is Wednesday, April 8, 2015, which is currently scheduled to be held at the North Plains Senior Center.

Submitted by:

Margaret L. Reh, City Recorder

Date Minutes Approved: _____



CITY OF NORTH PLAINS

31360 NW Commercial Street, North Plains, Oregon 97133

Date: April 1, 2015
To: North Plains Planning Commission
From: City Manager Martha DeBry
Subject: Community Vision Process

Background: City Council has retained Cogan, Owens, Greene to conduct the Community Vision Process, which will define the vision for the Comprehensive Plan and make recommendations to implement the vision.

Kirsten Greene will appear to discuss the process and listen to the Commission's feedback.



CITY OF NORTH PLAINS

31360 NW Commercial Street, North Plains, Oregon 97133

Date: April 1, 2015
To: North Plains Planning Commission
From: City Manager Martha DeBry
Subject: Discussion of Residential Design Guidelines

Background: Commissioner Eimers has requested that the Commission consider a “Hierarchy of controls” for residential building. Included in the Commission’s packet is information provided by the Commissioner.

The existing codes for residential zones provide little guidance regarding the quality and scale of buildings. Development standards are stated as:

The following standards will be applied to all single family dwellings (site-built, modular and manufactured homes) to be constructed or located in the City of North Plains:

- A. *All units shall utilize at least two of the following design features to provide visual relief along the front of the home:*
 - A. *dormers;*
 - B. *gables;*
 - C. *recessed entries;*
 - D. *covered porch entries;*
 - E. *cupolas;*
 - F. *pillars or posts;*
 - G. *bay or bow windows;*
 - H. *eaves (minimum 6" projection);*
 - I. *offsets on building face or roof (minimums 16");*

- B. *All manufactured homes shall also comply with the requirements of the Manufactured Homes section of this chapter.*

These standards are very minimal and make no distinction between infill and new neighborhood development.

Many communities have adopted residential design guidelines to assist with determining appropriate styles of designs within existing neighborhoods and new areas. Examples of design guidelines from the cities of Seattle, Los Altos and San Carlos are included in the Planning Commission's packet. Each provides different kinds of guidance, set forth the kinds of permits that would trigger a design review and generally encourage good architectural design that is consistent with community development.

Recommendation: The Commission discuss what kind of design controls it would like to consider and if those should be incorporated into a guidelines document more similar to the downtown guidelines or continue to be listed in the code.

Hierarchy of Development controls.

Eaves (minimum 6" projection) **North Plains: current code**

Different paint color per dwelling, base and trim

Hillsboro: Orenco Station

Restriction on curb cut to less than 40% of frontage

Use of exterior cosmetic features (minimum of 2)

North Plains: current code

Dormers

Gables

Recessed entries

Covered porch entries

Cupolas

Pillars or posts

Bay or Bow windows

Offset on building face or roof (minimums 16")

Use of different exterior cosmetic features per dwelling (minimum of 3)

Hillsboro: Orenco Station

Dormers

Gables

Recessed entries

Covered porch entries

Cupolas

Pillars or posts

Bay or Bow windows

Offset on building face or roof (minimums 16")

Trim material (rock, tile, brick, etc)

Addition of front porch width > 3X of entrance

Hillsboro: Orenco Gardens, Dogwood St and 63rd Ave

Restriction on curb cut to less than 30% of frontage

Hillsboro: Orenco Station, Edgefield St. Orenco Gardens

Parking spaces on street at 1 per 1000 sq ft of each dwelling and fraction

Hillsboro: SE Madsen Ct, SE Bliss Ct, SE Bluebonnet Ct, SE Sunflower Ct

Aspect ratio on lot dimensions of less than 2:1

Different designs (minimums) (as measured by different roof lines and/or window placement and/or entrance placement) (reverses don't count)

2 for developments <5

3 for developments <12

4 for developments >12

at least 25% single level

Hillsboro: Orenco Station

Single theme designs

Leavenworth, WA

16.20-1



Seattle Design Guidelines



DESIGN
REVIEW

December 2013

City of Seattle
Department of Planning and Development

Acknowledgements

Michael McGinn, Mayor, City of Seattle

Diane Sugimura, Director, Department of Planning and Development

Marshall Foster, City Planning Director, DPD

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Lisa Rutzick, Design Review Program Manager, DPD

Additional thanks to Design Review Board members, DPD Land Use Planners, and others for their support and critical feedback throughout the project.

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Introduction

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Reader's Guide



For detailed information on the Design Review Program, consult any of the following sources:

- Seattle Municipal Code Chapter 23.41
- Client Assistance Memo (CAM) 238B
- DPD website, Design Review section at <http://www.seattle.gov/dpd/aboutus/howweare/designreview/program/>.



This icon denotes additional information available related to the main text.

Introduction

The Seattle Design Guidelines are the cornerstone of the City's Design Review Program and the primary tool used by the Design Review Boards for evaluating proposed new development. The overarching goal of the design guidelines—and the Design Review Program—is to foster design excellence in private development of new multifamily and commercial projects throughout the city. The guidelines also support the Design Review Program as a forum for the public to participate in discussions about new projects in their community, and as a means of allowing flexibility in the application of Land Use Code requirements. The Seattle Design Guidelines apply to all projects required to undergo design review in all areas of the city except Downtown*. There are also neighborhood-specific design guidelines for many of Seattle's neighborhoods, which work in tandem with the citywide guidelines. Applicants with projects located within a neighborhood that has neighborhood-specific guidelines are required to consult both sets of guidelines—neighborhood and citywide—in the development and review of the project design. In the event of a conflict between citywide and neighborhood guidelines, the neighborhood-specific guidelines supersede.

WHAT IS DESIGN EXCELLENCE?

Design excellence takes many forms and can be measured in various ways. Seattle is fortunate to have a rich inventory of buildings and architectural styles throughout the city developed over many decades. One measure of design excellence is the ability of new buildings to fit seamlessly into that inventory. The ability of a building to stand the test of time by remaining functional and compatible over a period of many years is yet another sign of good design. This is reflected in choices made about materials, building assembly techniques, ongoing maintenance, and the type of energy used for heating, ventilation, and cooling. Finally, a project's contribution to the public realm, not only in terms of the building itself but also in site development, landscape and public open space, can be a measure of design excellence as well.

The Seattle Design Guidelines play an important role in helping define, design, and build projects of excellence in our city through the design review process.

**For the purposes of design review, Downtown is defined as that area bounded by Denny Way on the north, Elliott Bay on the west, I-5 on the east, and Jackson Street and Dearborn Street on the south which is governed by its own set of guidelines. See the Downtown Design Review district map on the DPD website at <http://www.seattle.gov/dpd/aboutus/howweare/designreview/program/>.*



For more information about Land Use Code departures, consult SMC 23.41.012 Development standard departures (also available online through the City Clerk's Office at <http://www.seattle.gov/leg/clerk/clerk.htm>).



Board members listening to an applicant's presentation.



Community members reviewing presentation boards prior to the start of a meeting.

PURPOSE OF THE SEATTLE DESIGN GUIDELINES

The purpose of the Seattle Design Guidelines is to define the qualities of architecture, urban design, and public space that make for successful projects and communities, and to serve as a tool for guiding individual projects to meet those expectations through the City's Design Review Program. In contrast to the very specific regulations of the City's Land Use Code (Title 23 Seattle Municipal Code), the Seattle Design Guidelines set the stage for flexibility and dialogue during project review. An applicant may be granted a departure from the Land Use Code by demonstrating that the alternate design solution better meets the intent of the design guidelines.

Although the design guidelines by themselves cannot guarantee good design, and are not intended to resolve zoning disputes or address project impacts related to parking or traffic, they are nonetheless a powerful element of the Design Review Program. Their role is to set the parameters for discussions about proposed multi-family and commercial projects. Specifically the guidelines:

- provide clarity and focus on what is important to consider in the design of projects;
- present clear performance-based statements about what we value;
- enable the dialogue that occurs in Design Review Board meetings to be as productive and efficient as possible;
- provide a common language with which to discuss the best ways to create development that contributes to an attractive, vibrant, and livable city of the future, project by project, and;
- serve as the basis for fair and consistent recommendations by the Design Review Boards, including departures from Land Use Code requirements, where it can be demonstrated that a departure would result in a development that meets or exceeds the intent of Citywide and any applicable neighborhood-specific design guidelines.

WHAT DO WE VALUE IN THE BUILT ENVIRONMENT?

The Seattle Design Guidelines provide guidance on universal design issues as well as the specific challenges faced by Seattle as it grows and changes. The underlying philosophy of the guidelines stems from acknowledgment of specific architectural and urban design qualities that are valued by the City and community members:

- architectural excellence as evidenced by an internationally-recognized design community; the existence of numerous organizations and citizen volunteers devoted to appreciation and cultivation of stellar architecture and urban design including the City's Design Review Program, Design Review Boards, and Design Commission; and a citizenry that is active in processes related to the design of individual projects and the city as a whole;
- design that preserves, reflects, or takes inspiration from the physical environment of hills, water, forests, and mountains that comprise the extraordinary setting surrounding Seattle;



Iconic Northwest images, above, lend Seattle some of its distinctive character.

- the character and cultivation of distinct neighborhoods that exist within the city, reflected in active citizen involvement in identifying and protecting historic and cultural resources that honor the city's diversity of people and cultures.

The design guidelines reflect these values through their emphasis on:

- beginning the design process with an understanding of the natural systems and features of the site and its surroundings;
- designing individual buildings within the larger context of a street, neighborhood, and city;
- drawing upon historical, cultural, and physical aspects of a site in order to develop a design that is authentic to Seattle and its neighborhoods while also embracing design innovation and creativity;
- encouraging the creation of public places as part of project design; and
- emphasizing the importance of developing a strong design concept for the project as a whole—both built and open space components.

WHO IS EXPECTED TO USE THE GUIDELINES?

The design guidelines are intended for a variety of audiences including developers, design professionals, neighbors, community members, Design Review Board members, Department of Planning and Development (DPD) staff, and the general public. Each has a specific role in the City's design review process. The guidelines provide all parties with a clear understanding of what the City urges project applicants to strive for in designing new development.

READER'S GUIDE

The design guidelines are organized around three themes: **Context and Site**; **Public Life**; and **Design Concept**. Each theme includes three to four individual guidelines. Each guideline consists of a number, a title, and a concise performance-based directive—all located at the top of the page.

Beneath each guideline is a series of design approaches and strategies to consider on a variety of topics, along with photos and/or diagrams to offer inspiration and guidance. The topics covered under each guideline represent issues specifically relevant to understanding and complying with the broader guideline and usually contain more detailed suggestions to consider.

While all projects are expected to meet and address all of the guidelines, they are not expected to apply all the approaches and strategies listed for each guideline. Not all of the approaches and strategies will be relevant to every project. Applicants, Design Review Boards, and other reviewers should use their judgment and discretion in determining which approaches and strategies are particularly applicable to a given project.

Context and Site

What's inside:

CS1. Natural Systems and Site Features

- A. Energy Use
- B. Sunlight and Natural Ventilation
- C. Topography
- D. Plants and Habitat
- E. Water

CS2. Urban Pattern and Form

- A. Location in the City and Neighborhood
- B. Adjacent Sites, Streets, and Open Spaces
- C. Relationship to the Block
- D. Height, Bulk, and Scale

CS3. Architectural Context and Character

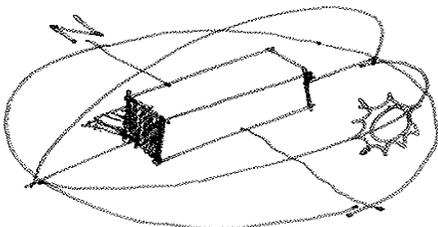
- A. Emphasizing Positive Neighborhood Attributes
- B. Local History and Culture



CS1

Natural Systems and Site Features

Use natural systems and features of the site and its surroundings as a starting point for project design.



Siting longer facades east to west brings the most consistent solar exposure and daylighting into a building, providing comfortable spaces for users and potential energy savings.



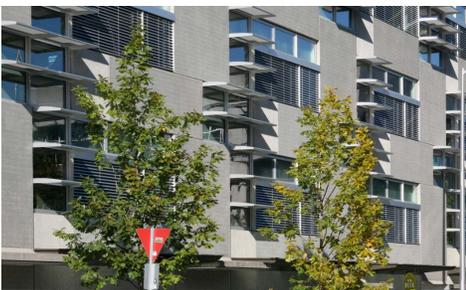
The Seattle Energy Code regulates energy-use features of new and remodeled buildings. For applicable energy standards and requirements, see the code at <http://www.seattle.gov/dpd/codesrules/codes/energy/overview/>



See also guideline DC1.A.1 Arrangement of Uses for related guidance.



See also CS2.B1 Site Characteristics, CS2.D2 Existing Site Features, and DC2.A1 Site Characteristics and Uses for related guidance.



Louvers on the windows help moderate the amount of sunlight received into this building as do the deciduous trees.

Design Approaches and Strategies to Consider:

A. ENERGY USE

1. **Energy Choices:** At the earliest phase of project development, examine how energy choices may influence building form, siting, and orientation, and factor in the findings when making siting and design decisions.

B. SUNLIGHT AND NATURAL VENTILATION

1. **Sun and Wind:** Take advantage of solar exposure and natural ventilation available onsite where possible. Use local wind patterns and solar gain as a means of reducing the need for mechanical ventilation and heating where possible.
2. **Daylight and Shading:** Maximize daylight for interior and exterior spaces and minimize shading on adjacent sites through the placement and/or design of structures on the site.
3. **Managing Solar Gain:** Manage direct sunlight falling on south and west facing facades through shading devices and existing or newly planted trees.

C. TOPOGRAPHY

1. **Land Form:** Use the natural topography and/or other desirable land forms or features to inform the project design.
2. **Elevation Changes:** Use the existing site topography when locating structures and open spaces on the site. Consider “stepping up or down” hillsides to accommodate significant changes in elevation.



Removal or destruction of trees may be subject to additional review. Consult SMC 25.11 and SMC 23 for additional information.



See also DC3.C3 Habitats and Ecosystems for related guidance.



This swale adds interest to the site and contributes to on-site stormwater management. Densely landscaped with native plants, it is designed to hold street run-off and release it slowly into the stormwater system.



Mature trees are preserved and made a significant feature of the open space for this residential project.



All proposed development is reviewed for its impact on existing drainage and wastewater infrastructure. For information on Seattle Grading and Drainage Control codes visit www.seattle.gov/dpd/codesrules/codes/. The City and King County share jurisdiction and infrastructure in some parts of Seattle, a permit may also be required from King County (see King County Drainage and Wastewater Services at <http://www.kingcounty.gov/environment.aspx>).

D. PLANTS AND HABITAT

1. **On-Site Features:** Incorporate on-site natural habitats and landscape elements such as: existing trees, native plant species or other vegetation into project design and connect those features to existing networks of open spaces and natural habitats wherever possible. Consider relocating significant trees and vegetation if retention is not feasible.
2. **Off-Site Features:** Provide opportunities through design to connect to off-site habitats such as riparian corridors or existing urban forest corridors. Promote continuous habitat, where possible, and increase interconnected corridors of urban forest and habitat where possible.

E. WATER

1. **Natural Water Features:** If the site includes any natural water features, consider ways to incorporate them into project design, where feasible.
2. **Adding Interest with Project Drainage:** Use project drainage systems as opportunities to add interest to the site through water-related design elements. Features such as trees, rain gardens, bioswales, green roofs, fountains of recycled water, and/or water art installations can create movement and sound, air cooling, focal points for pedestrians, and habitats which may already be required to manage on-site stormwater and allow reuse of potable water for irrigation.



CS2

Urban Pattern and Form

Strengthen the most desirable forms, characteristics, and patterns of the streets, block faces, and open spaces in the surrounding area.

Design Approaches and Strategies to Consider:

A. LOCATION IN THE CITY AND NEIGHBORHOOD

- 1. Sense of Place:** Emphasize attributes that give Seattle, the neighborhood, and/or the site its distinctive sense of place. Design the building and open spaces to enhance areas where a strong identity already exists, and create a sense of place where the physical context is less established. Examples of neighborhood and/or site features that contributed to a sense of place include patterns of streets or blocks, slopes, sites with prominent visibility, relationships to bodies of water or significant trees, natural areas, open spaces, iconic buildings or transportation junctions, and land seen as a gateway to the community.
- 2. Architectural Presence:** Evaluate the degree of visibility or architectural presence that is appropriate or desired given the context, and design accordingly. A site may lend itself to a “high-profile” design with significant presence and individual identity, or may be better suited to a simpler but quality design that contributes to the block as a whole. Buildings that contribute to a strong street edge, especially at the first three floors, are particularly important to the creation of a quality public realm that invites social interaction and economic activity. Encourage all building facades to incorporate design detail, articulation and quality materials.

B. ADJACENT SITES, STREETS, AND OPEN SPACES

- 1. Site Characteristics:** Allow characteristics of sites to inform the design, especially where the street grid and topography create unusually shaped lots that can add distinction to the building massing.
- 2. Connection to the Street:** Identify opportunities for the project to make a strong connection to the street and carefully consider how the building will interact with the public realm. Consider the qualities and character of the streetscape—its physical features (sidewalk, parking, landscape strip, street trees, travel lanes, and other amenities) and its function (major retail street or quieter residential street)—in siting and designing the building.



See also DC3.C1 Character of Open Space for related guidance.



Originally designed with long curving streets and few intersections, this development reinstated the street grid to better reflect and connect to neighboring properties.



For information about Seattle street improvements and standards, consult the *Right-of-Way Improvement Manual (ROWIM)* published by the Seattle Department of Transportation at <http://www.seattle.gov/transportation> under the “Resources” link.



See also PL1.A1 Enhancing Open Space for related guidance.



This drawing appropriately shows the proposed project within a broader context in order to assess height, bulk, and scale compatibility with surrounding buildings.



Under the City's SEPA (State Environmental Policy Act) policy, multi-family and/or commercial projects with substantial height, bulk, and scale impacts will be analyzed through the design review process. Siting and design based on the principles of these guidelines will help to mitigate some of those impacts, while others may require a reduction in the height, bulk, and scale of the project. Consult SMC 25.05.675 for additional information.



Slightly unconventional, yet still familiar, the skewed gable roof forms help reduce the mass of this townhouse project and allow it to blend into a neighborhood that includes single-family houses.



See also DC2.A Massing for related guidance.

3. **Character of Open Space:** Contribute to the character and proportion of surrounding open spaces. Evaluate adjacent sites, streetscapes, trees and vegetation, and open spaces for how they function as the walls and floor of outdoor spaces or “rooms” for public use. Determine how best to support those spaces through project siting and design (e.g. using mature trees to frame views of architecture or other prominent features).

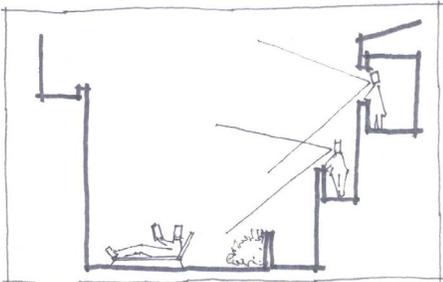
C. RELATIONSHIP TO THE BLOCK

1. **Corner Sites:** Corner sites can serve as gateways or focal points; both require careful detailing at the first three floors due to their high visibility from two or more streets and long distances. Consider using a corner to provide extra space for pedestrians and a generous entry, or build out to the corner to provide a strong urban edge to the block.
2. **Mid-Block Sites:** Look to the uses and scales of adjacent buildings for clues about how to design a mid-block building. Continue a strong street-edge where it is already present, and respond to datum lines created by adjacent buildings at the first three floors. Where adjacent properties are undeveloped or underdeveloped, design the party walls to provide visual interest through materials, color, texture, or other means.
3. **Full Block Sites:** Break up long facades of full-block buildings to avoid a monolithic presence. Provide detail and human scale at street-level, and include repeating elements to add variety and rhythm to the façade and overall building design. Consider providing through-block access and/or designing the project as an assemblage of buildings and spaces within the block.

D. HEIGHT, BULK, AND SCALE

1. **Existing Development and Zoning:** Review the height, bulk, and scale of neighboring buildings as well as the scale of development anticipated by zoning for the area to determine an appropriate complement and/or transition. Note that existing buildings may or may not reflect the density allowed by zoning or anticipated by applicable policies.
2. **Existing Site Features:** Use changes in topography, site shape, and vegetation or structures to help make a successful fit with adjacent properties; for example siting the greatest mass of the building on the lower part of the site or using an existing stand of trees to buffer building height from a smaller neighboring building.

3. **Zone Transitions:** For projects located at the edge of different zones, provide an appropriate transition or complement to the adjacent zone(s). Projects should create a step in perceived height, bulk and scale between the anticipated development potential of the adjacent zone and the proposed development. Factors to consider:
- Distance to the edge of a less (or more) intensive zone;
 - Differences in development standards between abutting zones;
 - The type of separation from adjacent properties (e.g. separation by property line only, by an alley or street or open space, or by physical features such as grade change);
 - Adjacencies to different neighborhoods or districts; adjacencies to parks, open spaces, significant buildings or view corridors; and
 - Shading to or from neighboring properties.
4. **Massing Choices:** Strive for a successful transition between zones where a project abuts a less intense zone. In some areas, the best approach may be to lower the building height, break up the mass of the building, and/or match the scale of adjacent properties in building detailing. It may be appropriate in other areas to differ from the scale of adjacent buildings but preserve natural systems or existing features, enable better solar exposure or site orientation, and/or make for interesting urban form.
5. **Respect for Adjacent Sites:** Respect adjacent properties with design and site planning to minimize disrupting the privacy and outdoor activities of residents in adjacent buildings.



Inappropriate siting of large buildings can reduce the privacy of adjacent homes. Reducing windows and decks overlooking neighboring residential property or increasing side setbacks can increase privacy.



CS3

Architectural Context and Character

Contribute to the architectural character of the neighborhood.

Design Approaches and Strategies to Consider:

A. EMPHASIZING POSITIVE NEIGHBORHOOD ATTRIBUTES

1. **Fitting Old and New Together:** Create compatibility between new projects and existing architectural context, including historic and modern designs, through building articulation, scale and proportion, roof forms, detailing, fenestration, and/or the use of complementary materials.
2. **Contemporary Design:** Explore how contemporary designs can contribute to the development of attractive new forms and architectural styles; as expressed through use of new materials or other means.
3. **Established Neighborhoods:** In existing neighborhoods with a well-defined architectural character, site and design new structures to complement or be compatible with the architectural style and siting patterns of neighborhood buildings.
4. **Evolving Neighborhoods:** In neighborhoods where architectural character is evolving or otherwise in transition, explore ways for new development to establish a positive and desirable context for others to build upon in the future.

B. LOCAL HISTORY AND CULTURE

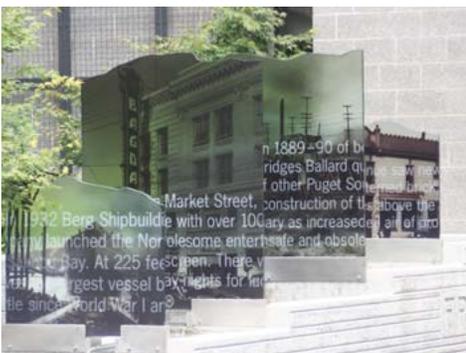
1. **Placemaking:** Explore the history of the site and neighborhood as a potential placemaking opportunity. Look for historical and cultural significance, using neighborhood groups and archives as resources.
2. **Historical/Cultural References:** Reuse existing structures on the site where feasible as a means of incorporating historical or cultural elements into the new project.



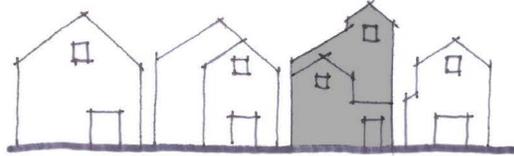
See also DC2.C3 Fit with Neighboring Buildings for related guidance.



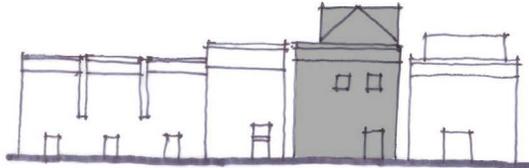
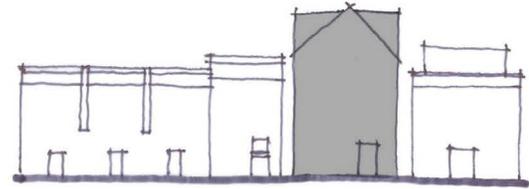
Maintaining the scale and architectural character of this 1910 building was an important element in reflecting its prior occupancy and cultural associations while updating the building for contemporary uses and opening another chapter in its history.



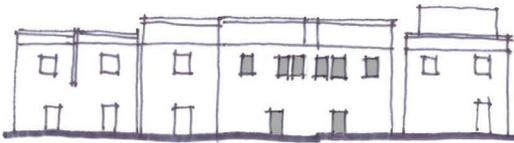
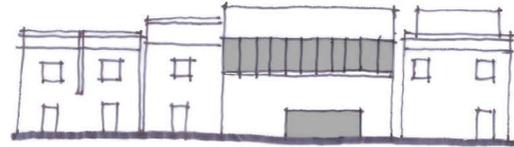
Artwork referencing local history at the public plaza level of this project provides a link to the past in this rapidly changing neighborhood.



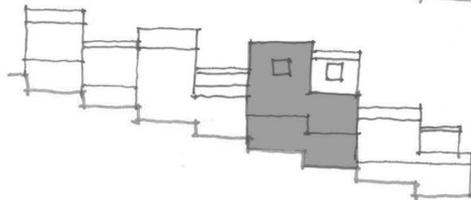
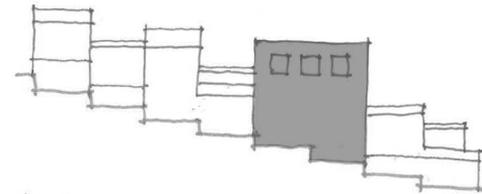
As shown in the lower figure, rooflines can reinforce the architectural character of a street.



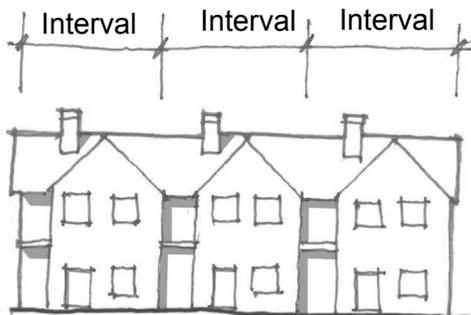
Incorporating architectural features like cornices is more compatible with adjacent buildings, by lowering the apparent, conflicting height of the building illustrated in the lower figure.



In areas that have a number of buildings that feature a distinctive architectural concept or style, referring to that organizational concept can achieve compatibility at a deeper level as shown in the lower diagram.



The pattern and proportion of windows, doors and other glazed areas (fenestration) is important in determining the building's architectural character. The lower image illustrates that by following the proportion and pattern of neighboring buildings the consistency of the overall streetscape is maintained or increased.



This building is articulated into intervals to be compatible with adjacent structures. Articulation methods include modulation, broken roof lines, building elements (chimneys, entries, etc.) and landscaping.



This mixed-use building expresses intervals through modulation, a mix of roof forms, landscaping and other elements.



This apartment building incorporates architectural elements typical of nearby buildings such as bay windows, cornice lines, double hung windows, building modulation and horizontal banding. Also, the street front landscaping helps it to better fit in an established neighborhood.

This project relates well to its neighbors by reflecting similar proportions, materials and architectural features.



Public Life

What's inside:

PL1. Connectivity

- A. Network of Open Spaces
- B. Walkways and Connections
- C. Outdoor Uses and Activities

PL2. Walkability

- A. Accessibility
- B. Safety and Security
- C. Weather Protection
- D. Wayfinding

PL3. Street-Level Interaction

- A. Entries
- B. Retail Edges
- C. Residential Edges

PL4. Active Transportation

- A. Entry Locations and Relationships
- B. Planning Ahead for Bicyclists
- C. Planning Ahead for Transit



PL1

Connectivity

Complement and contribute to the network of open spaces around the site and the connections among them.

Design Approaches and Solutions to Consider:



See also CS2.B3 Character of Open Space for related guidance.



See also PL3.C2 Interaction, DC1.A2 Gathering Places, DC3.B3 Connections to Other Open Spaces, and DC3.B4 Multifamily Open Space for related guidance.



Two small tables with chairs suit the scale of this sidewalk perfectly and make it clear what the adjacent retail space has to offer.



The Seattle Department of Transportation (SDOT) is responsible for permitting all work in Seattle's rights-of-way (ROW). For information about ROW permitting and Seattle's street improvements and standards, consult SDOT's Street Use division page at http://www.seattle.gov/transportation/stuse_home.htm.

A. NETWORK OF OPEN SPACES

1. **Enhancing Open Space:** Design the building and open spaces to positively contribute to a broader network of open spaces throughout the neighborhood. Consider ways that design can enhance the features and activities of existing off-site open spaces. Open space may include sidewalks, streets and alleys, circulation routes and other open areas of all kinds.
2. **Adding to Public Life:** Seek opportunities to foster human interaction through an increase in the size and/or quality of project-related open space available for public life. Consider features such as widened sidewalks, recessed entries, curb bulbs, courtyards, plazas, or through-block connections, along with place-making elements such as trees, landscape, art, or other amenities, in addition to the pedestrian amenities listed in PL1.B3.

B. WALKWAYS AND CONNECTIONS

1. **Pedestrian Infrastructure:** Connect on-site pedestrian walkways with existing public and private pedestrian infrastructure, thereby supporting pedestrian connections within and outside the project.
2. **Pedestrian Volumes:** Provide ample space for pedestrian flow and circulation, particularly in areas where there is already heavy pedestrian traffic or where the project is expected to add or attract pedestrians to the area.
3. **Pedestrian Amenities:** Opportunities for creating lively, pedestrian oriented open spaces to enliven the area and attract interest and interaction with the site and building should be considered. Visible access to the building's entry should be provided. Examples of pedestrian amenities include seating, other street furniture, lighting, year-round landscaping, seasonal plantings, pedestrian scale signage, site furniture, art work, awnings, large storefront windows, and engaging retail displays and/or kiosks.



See also DC3.B2 Matching Uses to Conditions for related guidance.



See also DC3.B4 Multifamily Open Space for related guidance.



In this project a “woonerf”^{*} creates a shared common space for both people and cars that is larger than either would have on its own. These shared spaces are practical solutions for higher-density development on tight lots.



Glazed, operable walls can be opened fully to the street, expanding the public space along this retail street.



^{*} woonerf: A driveway shared by pedestrians and vehicles, such as Pike Place in the Pike Place market.

C. OUTDOOR USES AND ACTIVITIES

1. **Selecting Activity Areas:** Concentrate activity areas in places with sunny exposure, views across spaces, and in direct line with pedestrian routes.
2. **Informal Community Uses:** In addition to places for walking and sitting, consider including space for informal community use such as performances, farmer’s markets, kiosks and community bulletin boards, cafes, or street vending.
3. **Year-Round Activity:** Where possible, include features in open spaces for activities beyond daylight hours and throughout the seasons of the year, especially in neighborhood centers where active open space will contribute vibrancy, economic health, and public safety. These may include:
 - a. seasonal plantings or displays and/or water features;
 - b. outdoor heaters;
 - c. overhead weather protection;
 - d. ample, moveable seating and tables and opportunities for outdoor dining;
 - e. an extra level of pedestrian lighting;
 - f. trees for moderate weather protection and shade; and/or
 - g. 24-hour wi-fi service.



An extra wide sidewalk is an appropriate response to an anticipated high volume of pedestrians. Weather protection, seating, plantings, bike racks, and waste cans are all comfortably accommodated in the space provided.



PL2

Walkability

Create a safe and comfortable walking environment that is easy to navigate and well-connected to existing pedestrian walkways and features.

Design Approaches and Solutions to Consider:

A. ACCESSIBILITY

1. **Access for All:** Provide access for people of all abilities in a manner that is fully integrated into the project design. Design entries and other primary access points such that all visitors can be greeted and welcomed through the front door. Refrain from creating separate “back door” entrances for persons with mobility limitations.
2. **Access Challenges:** Add features to assist pedestrians in navigating sloped sites, long blocks, or other challenges. Examples include exterior stairs and landings, escalators, elevators, textured ground surfaces, seating at key resting points, through-block connections, and ramps for wheeled devices (wheelchairs, strollers, bicycles).

B. SAFETY AND SECURITY

1. **Eyes on the Street:** Create a safe environment by providing lines of sight and encouraging natural surveillance through strategic placement of doors, windows, balconies and street-level uses.
2. **Lighting for Safety:** Provide lighting at sufficient lumen intensities and scales, including pathway illumination, pedestrian and entry lighting, and/or security lights.
3. **Street-Level Transparency:** Ensure transparency of street-level uses (for uses such as nonresidential uses or residential lobbies), where appropriate, by keeping views open into spaces behind walls or plantings, at corners, or along narrow passageways. Choose semi-transparent rather than opaque screening.



See also PL3.C1 Security and Privacy, PL4.B2 Bike Amenities for related guidance.



See also DC4.C Lighting for related guidance.



Activity on this urban sidewalk is easily monitored from the many entries and windows fronting the street. A variety of potted plants, artwork, and other amenities give the sidewalk a strong residential character and scale.



See also *PL4.B2 Bike Amenities*, *PL4.C2 Transit Amenities* for related guidance.



Even this relatively narrow sidewalk has clearly demarcated zones for street trees, pedestrians, and retail-related elements, making it a pleasant place to stroll.



See also *DC4.B2 Coordination with Project Design* for related guidance.



This transparent canopy provides identity and weather protection at the building entry while ensuring that light will filter through to the space below.

C. WEATHER PROTECTION

1. **Locations and Coverage:** Overhead weather protection is encouraged and should be located at or near uses that generate pedestrian activity such as entries, retail uses, and transit stops. Address changes in topography as needed to provide continuous coverage the full length of the building, where possible.
2. **Design Integration:** Integrate weather protection, gutters and downspouts into the design of the structure as a whole, and ensure that it also relates well to neighboring buildings in design, coverage, or other features.
3. **People-Friendly Spaces:** Create an artful and people-friendly space beneath building canopies by using human-scale architectural elements and a pattern of forms and/or textures at intervals along the façade. If transparent canopies are used, design to accommodate regular cleaning and maintenance.

D. WAYFINDING

1. **Design as Wayfinding:** Use design features as a means of wayfinding wherever possible, and provide clear directional signage where needed.



PL3

Street-Level Interaction

Encourage human interaction and activity at the street-level with clear connections to building entries and edges.

Design Approaches and Solutions to Consider:



See also PL4.A Entry Locations and Relationships for related guidance.



Generously sized plazas and sidewalks, lush plantings, a variety of paving materials, colorful signs and storefronts, good lighting, and plenty of seating greatly encourage year round activity at this popular shopping area.



Above-grade residential entries and extensive detailing provide privacy for residents and clearly demarcate the private, semiprivate, and public areas along this sidewalk.

A. ENTRIES

1. **Design Objectives:** Design primary entries to be obvious, identifiable, and distinctive with clear lines of sight and lobbies visually connected to the street. Scale and detail them to function well for their anticipated use and also to fit with the building of which they are a part, differentiating residential and commercial entries with design features and amenities specific to each.
 - a. **Office/commercial lobbies** should be visually connected to the street through the primary entry and sized to accommodate the range and volume of foot traffic anticipated;
 - b. **Retail entries** should include adequate space for several patrons to enter and exit simultaneously, preferably under cover from weather.
 - c. **Common entries to multi-story residential buildings** need to provide privacy and security for residents but also be welcoming and identifiable to visitors. Design features emphasizing the entry as a semi-private space are recommended and may be accomplished through signage, low walls and/or landscaping, a recessed entry area, and other detailing that signals a break from the public sidewalk.
 - d. **Individual entries to ground-related housing** should be scaled and detailed appropriately to provide for a more intimate type of entry. The design should contribute to a sense of identity, opportunity for personalization, offer privacy, and emphasize personal safety and security for building occupants.
2. **Ensemble of Elements:** Design the entry as a collection of coordinated elements including the door(s), overhead features, ground surface, landscaping, lighting, and other features. Consider a range of elements such as:
 - a. overhead shelter: canopies, porches, building extensions;
 - b. transitional spaces: stoops, courtyards, stairways, portals, arcades, pocket gardens, decks;
 - c. ground surface: seating walls; special paving, landscaping, trees, lighting; and



Well detailed landscaping promotes a successful transition from public to private space.

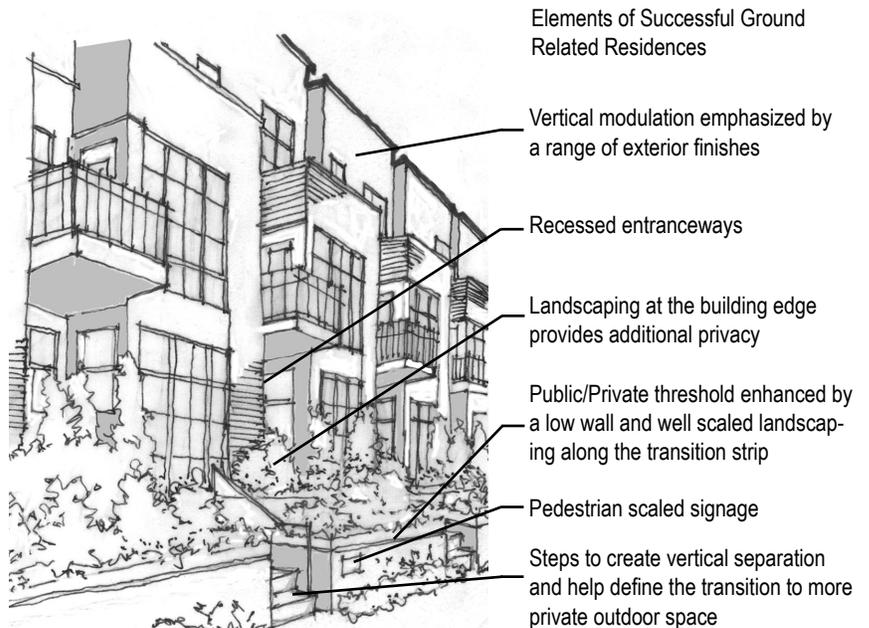


Repetitive vertical elements help define individual ground related residences.

- d. building surface/interface: privacy screens, upward-operating shades on windows, signage, lighting.

B. RESIDENTIAL EDGES

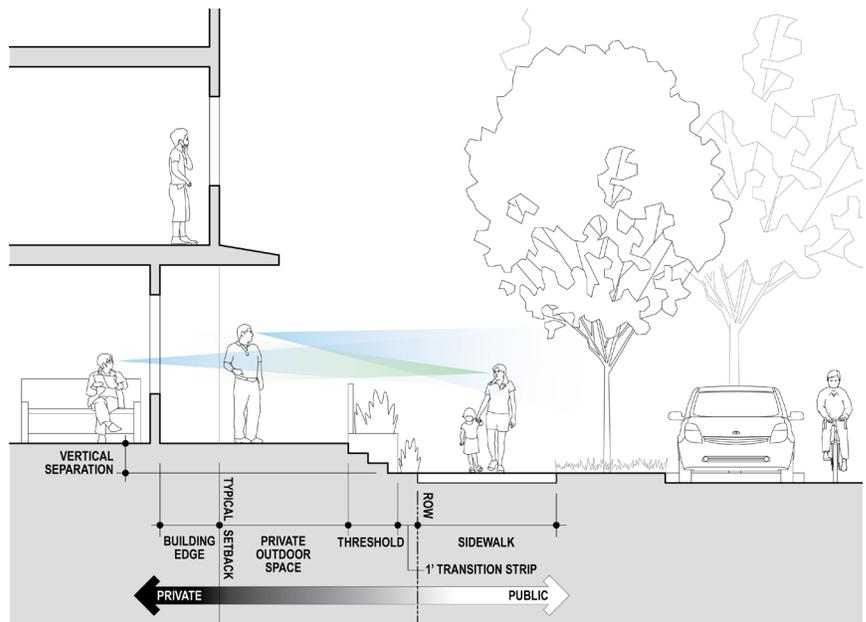
1. **Security and Privacy:** Provide security and privacy for residential buildings through the use of a buffer or semi-private space between the development and the street or neighboring buildings. Consider design approaches such as elevating the main floor, providing a setback from the sidewalk, and/or landscaping to indicate the transition from one type of space to another.
2. **Ground-level Residential:** Privacy and security issues are particularly important in buildings with ground-level housing, both at entries and where windows are located overlooking the street and sidewalk. Consider providing a greater number of transition elements and spaces, and choose materials carefully to clearly identify the transition from public sidewalk to private residence. In addition to the ideas in PL3.B1, design strategies include:
 - a. vertical modulation and a range of exterior finishes on the facade to articulate the location of residential entries;
 - b. pedestrian-scaled building addressing and signage, and entry elements such as mail slots/boxes, doorbells, entry lights, planter boxes or pots; and
 - c. a combination of window treatments at street level, to provide solutions to varying needs for light, ventilation, noise control, and privacy.





Active and transparent facades are particularly important in the design of live/work residences.

- Buildings with Live/Work Uses:** Maintain active and transparent facades in the design of live/work residences that are required to orient the non-residential portions of the unit toward the street. Design the first floor so it can be adapted to other commercial use as needed in the future.
- Interaction:** Provide opportunities for interaction among residents and neighbors. Consider locating commonly used features or services such as mailboxes, outdoor seating, seasonal displays, children's play equipment, and space for informal events in the area between buildings as a means of encouraging interaction.



Successful ground related housing employs vertical and horizontal separation to achieve an appropriate transition from public to private property.

C. RETAIL EDGES

- Porous Edge:** Engage passersby with opportunities to interact visually with the building interior using glazing and transparency. Create multiple entries where possible and make a physical and visual connection between people on the sidewalk and retail activities in the building.
- Visibility:** Maximize visibility into the building interior and merchandise displays. Consider fully operational glazed wall-sized doors that can be completely opened to the street, increased height in lobbies, and/or special lighting for displays.
- Ancillary Activities:** Allow space for activities such as sidewalk vending, seating, and restaurant dining to occur. Consider setting structures back from the street or incorporating space in the project design into which retail uses can extend.



This farmer's market spills over into the street creating a crowded, but lively and entertaining urban open space where residents, vendors, artists, and musicians all gather and mix. Shop owners often bring their wares into the street as well, further adding to the diversity of people and goods.



PL4

Active Transportation

Incorporate design features that facilitate active forms of transportation such as walking, bicycling, and use of transit.

Design Approaches and Solutions to Consider:

A. ENTRY LOCATIONS AND RELATIONSHIPS

1. **Serving all Modes of Travel:** Provide safe and convenient access points for all modes of travel.
2. **Connections to All Modes:** Site the primary entry in a location that logically relates to building uses and clearly connects all major points of access.

B. PLANNING AHEAD FOR BICYCLISTS

1. **Early Planning:** Consider existing and future bicycle traffic to and through the site early in the process so that access and connections are integrated into the project along with other modes of travel.
2. **Bike Facilities:** Facilities such as bike racks and storage, bike share stations, shower facilities and lockers for bicyclists should be located to maximize convenience, security, and safety.
3. **Bike Connections:** Facilitate connections to bicycle trails and infrastructure around and beyond the project. Design bicycling access points so that they relate to the street grid and include information about connections to existing trails and infrastructure where possible. Also consider signage, kiosks, building lobbies, and bicycle parking areas, where provided, as opportunities to share bicycling information.



See also PL3.A1 Entries for related guidance.



See also PL2.B1 Safety and Security, PL2.C1 Weather Protection for related guidance.



A simple bike rack, well-located, makes it possible for this bicyclist to lock his/her bike just outside a shop and quickly and efficiently accomplish a neighborhood errand.



See also *PL2.C1 Locations and Coverage for related guidance.*



Transit amenities needn't be grand or expensive to be effective. This Metro shelter provides just enough to meet the needs of transit patrons who are waiting for their ride--weather protection, a place to sit, some vegetation, and a newspaper vending machine.



At this busy transit stop, special paving subtly demarcates separate areas for transit patrons and pedestrians as a way of managing high volumes of people on the sidewalk.

C. PLANNING AHEAD FOR TRANSIT

1. **Influence on Project Design:** Identify how a transit stop (planned or built) adjacent to or near the site may influence project design, provide opportunities for placemaking, and/or suggest logical locations for building entries, retail uses, open space, or landscaping. Take advantage of the presence of transit patrons to support retail uses in the building.
2. **On-site Transit Stops:** If a transit stop is located onsite, design project-related pedestrian improvements and amenities so that they complement (or at least do not conflict with) any amenities provided for transit riders. Consider the proximity of transit queuing and waiting areas to other pedestrian gathering spaces, aiming for enough room to accommodate all users. Similarly, keep lines of sight to approaching buses or trains open and make it clear through location and design whether project-related pedestrian lighting, weather protection, and/or seating is intended to be shared by transit users.
3. **Transit Connections:** Where no transit stops are on or adjacent to the site, identify where the nearest transit stops and pedestrian routes are and include design features and connections within the project design as appropriate.

Design Concept

What's inside:

DC1. Project Uses and Activities

- A. Arrangement of Interior Uses
- B. Vehicular Access and Circulation
- C. Parking and Service Uses

DC2. Architectural Concept

- A. Massing
- B. Architectural and Façade Composition
- C. Secondary Architectural Features
- D. Scale and Texture
- E. Form and Function

DC3. Open Space Concept

- A. Building-Open Space Relationship
- B. Open Spaces Uses and Activities
- C. Design

DC4. Materials

- A. Exterior Elements and Finishes
- B. Signage
- C. Lighting
- D. Trees, Landscape and Hardscape Materials



DC1

Project Uses and Activities

Optimize the arrangement of uses and activities on site.

Design Approaches and Solutions to Consider:

A. ARRANGEMENT OF INTERIOR USES

1. **Visibility:** Locate uses and services frequently used by the public in visible or prominent areas, such as at entries or along the street front.
2. **Gathering Places:** Maximize the use of any interior or exterior gathering spaces by considering the following:
 - a. a location at the crossroads of high levels of pedestrian traffic;
 - b. proximity to nearby or project-related shops and services; and
 - c. amenities that complement the building design and offer safety and security when used outside normal business hours.
3. **Flexibility:** Build in flexibility so the building can adapt over time to evolving needs, such as the ability to change residential space to commercial space as needed.
4. **Views and Connections:** Locate interior uses and activities to take advantage of views and physical connections to exterior spaces and uses, particularly activities along sidewalks, parks or other public spaces.

B. VEHICULAR ACCESS AND CIRCULATION

1. **Access Location and Design:** Choose locations for vehicular access, service uses, and delivery areas that minimize conflict between vehicles and non-motorists wherever possible. Emphasize use of the sidewalk for pedestrians, and create safe and attractive conditions for pedestrians, bicyclists, and drivers by:
 - a. using existing alleys for access or, where alley access is not feasible, choosing a location for street access that is the least visually dominant and/or which offers opportunity for shared driveway use;
 - b. where driveways and curb cuts are unavoidable, minimize the number and width as much as possible; and/or



See also PL1.C2 Outdoor Uses and Activities, DC3.A Building-Open Space Relationships for related guidance.



Retail and entertainment uses placed at the heart of this development enliven the entire project and provide a central space for people—residents and visitors—to gather.



See also DC2.E1 Legibility and Flexibility for related guidance.



For information about Seattle access and parking requirements, consult SMC Chapter 23.54 Quantity and Design Standards for Access and Off-Street Parking at <http://clerk.ci.seattle.wa.us/~public/toc/23-54.htm>.



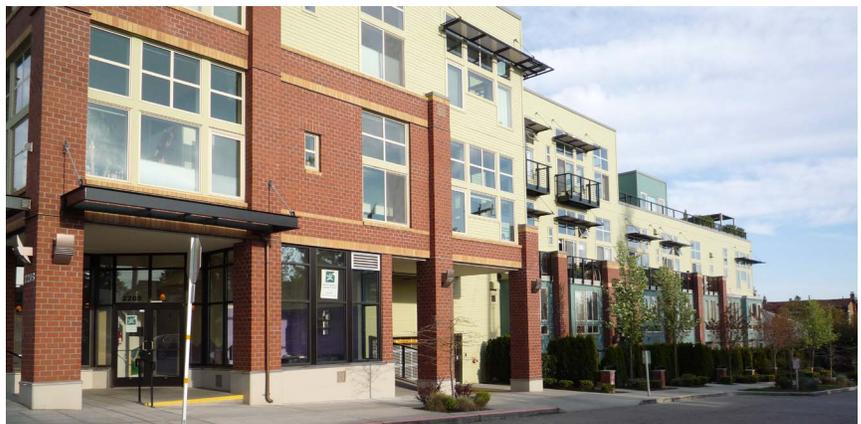
This internal “street” not only provides access to all housing units, but also serves as interior open space and as a multipurpose area when residents want to gather together.

c. employing a multi-sensory approach to areas of potential vehicle-pedestrian conflict such as garage exits/entrances. Design features may include contrasting or textured pavement, warning lights and sounds, and similar safety devices.

2. **Facilities for Alternative Transportation:** Locate any facilities for alternative transportation such as shared vehicles, carpooling and charging stations for electric vehicles in prominent locations that are convenient and readily accessible to expected users.

C. PARKING AND SERVICE USES

1. **Below-Grade Parking:** Locate parking below grade wherever possible. Where a surface parking lot is the only alternative, locate the parking in rear or side yards, or on lower or less visible portions of the site.
2. **Visual Impacts:** Reduce the visual impacts of parking lots, parking structures, entrances, and related signs and equipment as much as possible. Consider breaking large parking lots into smaller lots, and/or provide trees, landscaping or fencing as a screen. Design at-grade parking structures so that they are architecturally compatible with the rest of the building and streetscape.
3. **Multiple Uses:** Design parking areas to serve multiple uses such as children’s play space, outdoor gathering areas, sports courts, woonerf, or common space in multifamily projects.
4. **Service Uses:** Locate and design service entries, loading docks, and trash receptacles away from pedestrian areas or to a less visible portion of the site to reduce possible impacts of these facilities on building aesthetics and pedestrian circulation. Where service facilities abut pedestrian areas or the perimeter of the property, maintain an attractive edge through screening, plantings, or other design treatments.



The parking garage entrance to this building has been carefully designed so as not to dominate the pedestrian entrance at the corner of the building, but still provide clear cues to motorists on where to enter. The pillars and planting areas signal to both pedestrians and motorists that the driveway is where the modes cross and therefore requires extra awareness and caution.



DC2

Architectural Concept

Develop an architectural concept that will result in a unified and functional design that fits well on the site and within its surroundings.

Design Approaches and Solutions to Consider:

A. MASSING

1. **Site Characteristics and Uses:** Arrange the mass of the building taking into consideration the characteristics of the site and the proposed uses of the building and its open space. In addition, special situations such as very large sites, unusually shaped sites, or sites with varied topography may require particular attention to where and how building massing is arranged as they can accentuate mass and height.
2. **Reducing Perceived Mass:** Use secondary architectural elements to reduce the perceived mass of larger projects. Consider creating recesses or indentations in the building envelope; adding balconies, bay windows, porches, canopies or other elements; and/or highlighting building entries.

B. ARCHITECTURAL AND FAÇADE COMPOSITION

1. **Façade Composition:** Design all building facades—including alleys and visible roofs—considering the composition and architectural expression of the building as a whole. Ensure that all facades are attractive and well-proportioned through the placement and detailing of all elements, including bays, fenestration, and materials, and any patterns created by their arrangement. On sites that abut an alley, design the alley façade and its connection to the street carefully. At a minimum, consider wrapping the treatment of the street-facing façade around the alley corner of the building.
2. **Blank Walls:** Avoid large blank walls along visible façades wherever possible. Where expanses of blank walls, retaining walls, or garage facades are unavoidable, include uses or design treatments at the street level that have human scale and are designed for pedestrians. These may include:
 - a. newsstands, ticket booths and flower shops (even if small or narrow);
 - b. green walls, landscaped areas or raised planters;
 - c. wall setbacks or other indentations;
 - d. display windows; trellises or other secondary elements;
 - e. art as appropriate to area zoning and uses; and/or



See also CS2.D4 Massing Choices for related guidance.



The four different facade designs above demonstrate how the placement of secondary architectural features can have a tremendous impact of the character and scale of a building.



Well-balanced horizontal and vertical elements create a pleasing façade that adds interest to the massing of this full-block, mixed-use project.



Steep roof pitches, nicely detailed eaves, and the use of a variety of materials all give this corner property a strong presence in a neighborhood of traditional houses.



See also CS3.A1 *Fitting Old and New Together* for related guidance.



Sunshades and window mullions give texture and human scale detailing to this glass curtain-wall building.



See also DC1.A3 *Flexibility* for related guidance.

- f. terraces and landscaping where retaining walls above eye level are unavoidable.

C. SECONDARY ARCHITECTURAL FEATURES

1. **Visual Depth and Interest:** Add depth to facades where appropriate by incorporating balconies, canopies, awnings, decks, or other secondary elements into the façade design. Add detailing at the street level in order to create interest for the pedestrian and encourage active street life and window shopping (in retail areas). Detailing may include features such as distinctive door and window hardware, projecting window sills, ornamental tile or metal, and other high-quality surface materials and finishes.
2. **Dual Purpose Elements:** Consider architectural features that can be dual purpose—adding depth, texture, and scale as well as serving other project functions. Examples include shading devices and windows that add rhythm and depth as well as contribute toward energy efficiency and/or savings or canopies that provide street-level scale and detail while also offering weather protection. Where these elements are prominent design features, the quality of the materials is critical.
3. **Fit With Neighboring Buildings:** Use design elements to achieve a successful fit between a building and its neighbors, such as:
 - a. considering aspects of neighboring buildings through architectural style, roof line, datum line detailing, fenestration, color or materials,
 - b. using trees and landscaping to enhance the building design and fit with the surrounding context, and/or
 - c. creating a well-proportioned base, middle and top to the building in locations where this might be appropriate. Consider how surrounding buildings have addressed base, middle, and top, and whether those solutions—or similar ones—might be a good fit for the project and its context.

D. SCALE AND TEXTURE

1. **Human Scale:** Incorporate architectural features, elements, and details that are of human scale into the building facades, entries, retaining walls, courtyards, and exterior spaces in a manner that is consistent with the overall architectural concept. Pay special attention to the first three floors of the building in order to maximize opportunities to engage the pedestrian and enable an active and vibrant street front.
2. **Texture:** Design the character of the building, as expressed in the form, scale, and materials, to strive for a fine-grained scale, or “texture,” particularly at the street level and other areas where pedestrians predominate.

E. FORM AND FUNCTION

1. **Legibility and Flexibility:** Strive for a balance between building legibility and flexibility. Design buildings such that their primary functions and uses can be readily determined from the exterior, making the building easy to access and understand. At the same time, design flexibility into the building so that it may remain useful over time even as specific programmatic needs evolve.



DC3

Open Space Concept

Integrate open space design with the design of the building so that each complements the other.

Design Approaches and Solutions to Consider:

A. BUILDING-OPEN SPACE RELATIONSHIP

1. **Interior/Exterior Fit:** Develop an open space concept in conjunction with the architectural concept to ensure that interior and exterior spaces relate well to each other and support the functions of the development.

B. OPEN SPACE USES AND ACTIVITIES

1. **Meeting User Needs:** Plan the size, uses, activities, and features of each open space to meet the needs of expected users, ensuring each space has a purpose and function.
2. **Matching Uses to Conditions:** Respond to changing environmental conditions such as seasonal and daily light and weather shifts through open space design and/or programming of open space activities. For example, place outdoor seating and gathering areas where there is sunny exposure and shelter from wind. Build flexibility into the design in order to accommodate changes as needed; e.g. a south-facing courtyard that is ideal in spring may become too hot in summer, necessitating a shift of outdoor furniture to a shadier location for the season.
3. **Connections to Other Open Space:** Site and design project-related open spaces should connect with, or enhance, the uses and activities of other nearby public open space where appropriate. Look for opportunities to support uses and activities on adjacent properties and/or the sidewalk.
4. **Multifamily Open Space:** Design common and private open spaces in multifamily projects for use by all residents to encourage physical activity and social interaction. Some examples include areas for gardening, children's play (covered and uncovered), barbecues, resident meetings, and crafts or hobbies.



See also DC1.A4 Views and Connections for related guidance.



See also PL1.C1 Selecting Activity Areas for related guidance.



See also PL1.A2 Adding to Public Life, PL1.C2 Informal Community Uses, and DC1.A2 Gathering Places for related guidance.



A gentle curve creates interesting sightlines and makes the space seem larger than it is along this shared walkway.



See also CS2.A1 Character and Open Space and CS2.B3 Surrounding Open Space for related guidance.



Going vertical with plantings is especially useful where space is at a premium—a wall of green still makes an impact.



See also CS1.D1 On-site Features and CS1.D2 Restoring Habitats for related guidance.



Although small, this elegantly detailed and appointed interior courtyard is a perfect complement to the architecture of the surrounding building.

C. DESIGN

1. **Reinforce Existing Open Space:** Where a strong open space concept exists in the neighborhood, reinforce existing character and patterns of street tree planting, buffers or treatment of topographic changes. Where no strong patterns exist, initiate a strong open space concept, where appropriate, that other projects can build upon in the future.
2. **Amenities and Features:** Create attractive outdoor spaces well-suited to the uses envisioned for the project. Use a combination of hardscape and plantings to shape these spaces and to screen less attractive areas as needed. Use a variety of features, such as planters, green roofs and decks, groves of trees, and vertical green trellises along with more traditional foundation plantings, street trees, and seasonal displays.
3. **Support Natural Areas:** Create an open space design that retains and enhances on-site natural areas and connects to natural areas that may exist off-site and may provide habitat for wildlife. If the site contains no natural areas, consider an open space design that offers opportunities to create larger contiguous open spaces and corridors in the future with development of other public or private projects.



A reflecting pool leads the eye straight to the entry while other open space elements—trellises, raised beds, and artwork—create several smaller open spaces each with its own character in this relatively small open space off the street.



DC4

Exterior Elements and Finishes

Use appropriate and high quality elements and finishes for the building and its open spaces.

Design Approaches and Solutions to Consider:

A. BUILDING MATERIALS

1. **Exterior Finish Materials:** Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged.
2. **Climate Appropriateness:** Select durable and attractive materials that will age well in Seattle's climate, taking special care to detail corners, edges, and transitions. Highly visible features, such as balconies, grilles and railings should be especially attractive, well crafted and easy to maintain. Pay particular attention to environments that create harsh conditions that may require special materials and details, such as marine areas or open or exposed sites.

B. SIGNAGE

1. **Scale and Character:** Add interest to the streetscape with exterior signs and attachments that are appropriate in scale and character to the project and its environs. Signage should be compatible in character, scale, and locations while still allowing businesses to present a unique identity.
2. **Coordination With Project Design:** Develop a signage plan within the context of architectural and open space concepts, and coordinate the details with façade design, lighting, and other project features to complement the project as a whole, in addition to the surrounding context.



Small shops each with their own sign make for a colorful and vibrant-street presence that exemplifies Ballard's healthy urban life. Other areas may be better suited to a more restrained and coordinated palette of signs. Either way, signs play a large role in a project's character.



See also *PL2.D1 Design as Wayfinding* for related guidance.



Building materials are not limited to brick and mortar—this building covered almost entirely with a variety of plants is literally a green façade.



Concrete, aluminum, steel, and vibrant colors combine here for a dramatic street presence.

C. LIGHTING

1. **Functions:** Use lighting both to increase site safety in all locations used by pedestrians and to highlight architectural or landscape details and features such as entries, signs, canopies, plantings, and art.
2. **Avoiding Glare:** Design project lighting based upon the uses on and off site, taking care to provide illumination to serve building needs while avoiding off-site night glare and light pollution.

D. TREES, LANDSCAPE AND HARDSCAPE MATERIALS

1. **Choice of Plant Materials:** Reinforce the overall architectural and open space design concepts through the selection of landscape materials. Choose plants that will emphasize or accent the design, create enduring green spaces, and be appropriate to particular locations taking into account solar access, soil conditions, and adjacent patterns of use. Select landscaping that will thrive under urban conditions.
2. **Hardscape Materials:** Use exterior courtyards, plazas, and other hard surfaced areas as an opportunity to add color, texture, and/or pattern and enliven public areas through the use of distinctive and durable paving materials. Use permeable materials wherever possible.
3. **Long Range Planning:** Select plants that upon maturity will be of appropriate size, scale, and shape to contribute to the site as intended. It may be necessary to create a landscaping plan for various stages of plant maturity, such as 5, 10, and 20 year plans in order to ensure the landscaping will perform and function as needed over the life of the project.
4. **Place Making:** Create a landscape design that helps define spaces with significant elements such as trees.

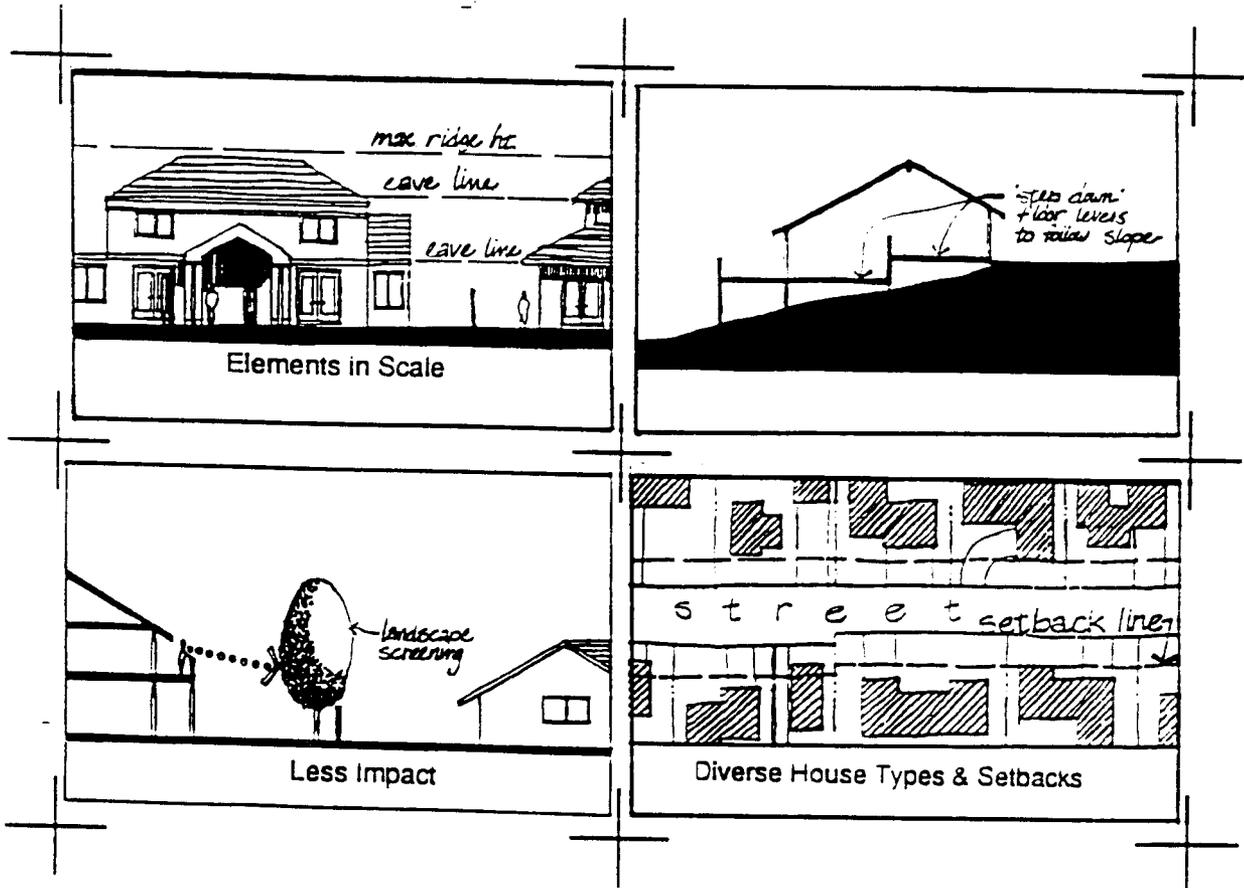
E. PROJECT ASSEMBLY AND LIFESPAN

1. **Deconstruction:** When possible, design the project so that it may be deconstructed at the end of its useful lifetime, with connections and assembly techniques that will allow reuse of materials.



Glass, wood, steel, glass—and rooftop plants all combine successfully in this project.

City of Los Altos



Single-Family Residential DESIGN GUIDELINES

New Homes & Remodels

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1.0 INTRODUCTION

These guidelines were developed after an extensive community-wide look at the values and expectations that neighborhoods have for the housing that surrounds them. The purpose of this handbook is not meant to promote a specific type of design nor to establish a rigid set of guidelines. Instead, it is meant to guide the homeowner, architect, developer and builder in planning and executing a successful design of new and remodeled single-family dwellings. This handbook will also serve as a guide for the City Council, Planning Commission and City staff in the design review process.

Often, newly built homes have more complex plan and building forms than existing houses. This fact, along with stylistic and size issues, has reinforced perceptions of newer homes as being very different from older houses.

The design policies and implementation techniques in this handbook are not meant to discourage individual designs. Rather, they set forth the implementation of the findings that must be made for design review applications, serve as a basis on which decision-making bodies may base their design-review decisions, and assist in developing consistency in the approval process from neighborhood to neighborhood across the city. The primary purpose is to guide property owners toward successful solutions to their needs and to maintain the existing positive physical qualities and character of the residential neighborhoods of Los Altos.

These guidelines implement the goals and policies of the General Plan. They also identify the findings from the Los Altos Municipal Code which must be followed to gain approval of a project.

Los Altos requires design review on all residential construction. The majority of design review is performed by Planning Department staff. Applications for two-story construction or unusual architectural design are heard by the Architectural and Site Control Committee (A&S), a subcommittee of the Planning Commission. The functions of the A&S Committee are delineated in the Los Altos Municipal Code.

From a historical perspective, the character of neighborhoods in Los Altos relates back to the incorporation of the city in 1952. Decisions made at that time encouraged a rural-like atmosphere. Thus, Los Altos developed with spacious quarter acre lots, minimal use of curbs and gutters, extensive use of landscaping and large trees, openness of front yards to the street, and the relatively low profile and height of residences. Prior to the City's incorporation, housing had developed more in continuity with surrounding communities; thus, there are areas of town that have smaller lots, and the zoning regulations distinguish between these smaller lots and larger lots in terms of setbacks, height, etc. These design guidelines, however, apply to lots of all sizes.

Although most of the housing stock was developed during the 1950's and a predominant style is the "ranch", there is a vast diversity of design and style within Los Altos. Today, demands for housing are far different than they were at our incorporation. As a result, housing styles and home size have changed dramatically. Whereas, earlier there was an emphasis on "low profile", now there is a tendency to "build out" a lot. Whereas, before there was an emphasis on designing from the exterior inward now there is a tendency to design from the interior outward. At times this results in home designs that appear to overwhelm neighboring homes either in mass or complexity of design.

To monitor such changes, the City Council first amended the zoning regulations to lower height and to establish daylight planes and floor area to lot area ratios. After working with these new regulations for a period of time, it became evident that development standards alone are not sufficient to address such impacts as privacy invasion and change to neighborhood character. Thus, the next step involved the adoption of requirements for design review of all new homes and remodels. These guidelines have been developed with the expectation that their use will encourage creativity that will result in a high level of residential design quality.

It is recognized that guidelines do not encompass the full range of possibilities for excellence. For this reason, variation from these guidelines will be considered when compensated by a related improvement which contributes to the excellence of the project.

To use these guidelines, please refer to the Table of Contents. Chapter 1 is the Introduction, and Chapter 2 explains the intent of the guidelines as well as the design review process. Chapter 3 presents information on how *design* is viewed in relation to the design review process. Chapter 4 presents the basic philosophy of these guidelines and provides general guidance in meeting the findings required for design approval. Chapter 5 explains procedures and includes the basic "*do's and don'ts*" for design approval. There are three appendices: Appendix A presents the goals and policies from the General Plan that are applicable to these guidelines; Appendix B is a Glossary of Terms; and Appendix C provides a basic primer on Architectural Styles, and can assist you in identifying the style of your home.

We wish you well on your project!

2.0 OVERVIEW OF GUIDELINES

2.1 APPLICATION OF GUIDELINES

These guidelines apply to new single-family homes as well as additions and exterior remodeling of existing homes.

2.2 DESIGN GUIDELINE GOALS

The goals of the guidelines are as follows:

- **Improve and enhance the architectural quality and design integrity of single-family residential housing in Los Altos.**
- **Illustrate the goals of the General Plan, including those relating to privacy, bulk, neighborhood character, and landscaping.**
- **Provide a vision of single-family residential housing and neighborhoods that reflects the community values of Los Altos.**

2.3 DESIGN GUIDELINES AND THE CITY'S REVIEW PROCESS

The steps of designing your construction project which involve working with City staff are as follows:

1. Obtain from the Planning Department a copy of the zoning development standards for the zoning district in which you are located. Most Los Altos single-family residences are located in the R1-10 zoning district for which a Building Guide has been prepared. The Building Guide includes regulations for setbacks, lot coverage, floor area ratio, height restrictions, etc. for all R1-10 lots, including small lots (those under 9,000 sq. ft.). Zoning development standards are also available for the other R1 zoning districts: R1-H, R1-20, and R1-40. Since the Building Guide is typically provided at the same time you obtain this booklet, you may already have a copy.

2. Check your CC&R's (Covenants, Conditions & Restrictions), if any, for private subdivision restrictions relating to height, setbacks, and other design issues. If you do not have a copy with your deed, you may obtain one from a title company.

3. When preparing your plans, it is important that all development follow the zoning standards as well as the design guidelines. To find that a project is in compliance

with the design guidelines does not imply that it would have to follow every specific guideline. Instead, the appropriate review committee and staff will look first for general compliance, and second, for compliance with specific guidelines which address major impacts.

4. At this stage your plans (plot plan, building elevations, roof plan, floor plan) should contain sufficient detail to reflect the design of your project. It is to your advantage to submit plans at a preliminary stage since significant design changes can occur during the design review process. Construction drawings should not be prepared until after you have received design approval.

5. Once your plans have been prepared, we recommend (particularly with two-story construction) that you discuss them with your immediate neighbors (typically eight homes - two next door, three across the street and three behind). Quite often, a concern of the neighbors can be resolved in the early design stages.

6. The next step is to apply for design review. Detailed instructions are included in the Building Guide, along with an explanation of the design review process. All two-story projects will be considered at a public meeting before the Architectural and Site Control Committee, and the immediate neighbors will be invited to attend the meeting. One-story projects are typically not considered at a public meeting, and are reviewed by the Planning Department staff. Staff may, however, refer one-story applications to the Architectural and Site Control Committee when it is deemed appropriate. In order to grant design approval, the zoning regulations require positive findings to the following criteria:

- **The proposed structure or alteration follows all provisions of the Los Altos Municipal Code and Zoning Ordinance.**
- **The height, elevations, and placement on the site of the proposed main or accessory structure or addition, when considered with reference to the nature and location of residential structures on adjacent lots, will avoid unreasonable interference with views and privacy, and will consider the topographic and geologic constraints imposed by particular building site conditions.**
- **The natural landscape will be preserved where practical, by minimizing tree and soil removal; grade changes will be minimized and will be in keeping with the general appearance of neighboring developed areas.**
- **The orientation of the proposed main or accessory structure or addition in relation to the immediate neighborhood will minimize the perception of excessive bulk.**

- General architectural considerations, including the character, size, scale and quality of the design, the architectural relationship with the site and other building materials, and similar elements have been incorporated in order to ensure the compatibility of the development with its design concept and the character of adjacent buildings.
- The proposed structures have been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection. A stepped foundation shall generally be required where the average slope beneath the proposed structure is 10% or greater.

7. Either the applicant or the neighbor(s) may file an appeal once a design application has been either approved or denied by the Architectural and Site Control Committee. The process for filing an appeal is explained in the Building Guide. The City Council typically hears appeals, and the Council may either uphold or overrule a decision of the Architectural and Site Control Committee. As previously pointed out, it is important to meet with your neighbors early in the process and to resolve areas of concern, since the design review process involves judgment decisions which may be influenced by neighborhood reaction.

8. If your application has been approved and no appeal has been filed, you may prepare your construction drawings in order to apply for a building permit. Detailed instructions for this process are available in the Building Department.

9. Design approval is valid for one year. If an application for a building permit is not made within one year, the approval will expire.

2.4 HOW THE DESIGN GUIDELINES WERE DEVELOPED

In October, 1990 the City retained Architect/Urban Designer Mark R. Srebnik, AIA, who, along with an Advisory Committee, was charged with preparing single-family residential design guidelines. The Committee included residents, builders, architects, designers, and representatives from the Planning Commission.

To increase public input, a series of public committee meetings were held as well as a Community Meeting sponsored by the committee. In addition, two joint worksessions were held between the City Council and the Planning Commission as well as public hearings before both bodies.

3.0 DESIGN IN LOS ALTOS

Los Altos housing has developed from its notion of a community that is semi-rural in nature. Lack of curbs and gutters, large lots that are generally not built out, general lack of street lighting, and an abundance of mature landscaping all lend toward the feeling of spaciousness that is generated within our community.

One characteristic of the housing that can be considered as a strength of Los Altos, would be the abundant use of landscaping. This landscaping includes heritage and other tall trees, hedges, shrubs, green lawns, and flowers. In addition, there is a sense of privacy and individuality that has developed within each lot. Such landscaping, along with generous setbacks and under-development, all point toward a community heritage of openness, greenness, and lushness.

Housing design needs to address the relationship of dwellings to one another within a neighborhood and the quality of community that any new housing creates in aggregation. Whether your home has a specific "style" or is a mixture of architectural elements found in your neighborhood, its success depends upon how well it has been designed and how well the different design elements are unified into a single harmonious whole.

It is not necessarily good design to copy elements that already exist in a neighborhood just to make your design "fit in". It is more important to good design that your home has its own integrity. Good design should address an array of elements, including and not limited to setbacks, privacy, architectural elements, heights, landscaping, neighborhood relationship, etc.

Los Altos is made up of numerous individually built houses and subdivision tracts which have been developed during the past century. Some of the tracts are diverse in architectural style while others are homogenous. If the architectural style you have chosen is significantly different from neighboring homes, mitigation may be required in terms of and not limited to the following: ample landscaping or screening, smaller size, greater setbacks, design alterations and/or modified exterior building materials. In all cases quality design is required.

The bulk of a structure is related to its floor area, height, design and relationship to its surroundings. A structure is perceived to be bulky when these elements are combined in such a way as to create a residence that is out of scale, visually and structurally, with neighboring residences and its own natural setting. The residence then appears massive, blocky, and overwhelming to the eye. The emphasis should be on maximum integration of structures with their natural and constructed environments.

In summary, if you have designed your home in accordance with these guidelines and have a "good design" for your neighborhood, you can be reasonably assured that your design will be approved. If your home design deviates significantly from these guidelines and your neighborhood, you will either be required to provide mitigation or to redesign your project.

4.0 DESIGN GUIDELINES PHILOSOPHY

This chapter defines the philosophy of Los Altos with regard to how housing should develop within our neighborhoods. This chapter is general in nature and reflects the major concerns of neighborhood compatibility and site planning, including the relationship of your property to adjacent properties. The next chapter goes into greater detail regarding the *do's and don'ts* for all new construction and remodels.

These guidelines were developed from the belief that there can be a balance between the desires of the community to achieve neighborhood compatibility in house design and individuals' rights to build their "dream home". There is a need to be sensitive in crucial areas that govern the relationship of a home to its surroundings, e.g. existing homes, public streets, open spaces, privacy invasion, etc. These guidelines are not intended to prescribe a specific style, nor to limit development to one story in height.

4.1 NEIGHBORHOOD COMPATIBILITY

Before starting the design process, you should understand the character of your neighborhood and the impact your project will have on the neighborhood. Not all neighborhoods have clearly defined boundaries or character. Often, the boundaries of a neighborhood are delineated by arterial streets, topography and other non-architectural features.

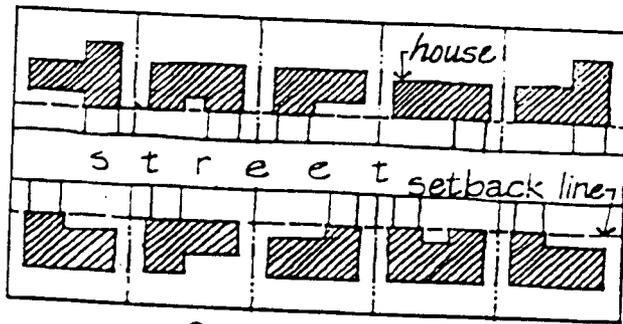
Neighborhood character within a subdivision may be a result of private CC&R's (Conditions, Covenants, and Restrictions). These CC&R's may contain restrictions on height, size, setbacks, and other design issues. Review your title report to see if there are any CC&R's that may apply to your project. Even though enforcement of CC&R's is a private civil matter, you will need to acknowledge on your design application whether your project follows all CC&R's. When the applicant indicates that a project deviates from the CC&R's, the neighbors will be notified.

Neighborhoods in our community fall into one of the following groups: consistent, diverse and transitional. Following is a discussion regarding each of these types of neighborhoods. One of the considerations for a project is the compatibility it has within the neighborhood. A project determined to be inconsistent with the neighborhood will not necessarily be denied. It may be that mitigation will be required in order for the project to be approved.

CONSISTENT CHARACTER NEIGHBORHOODS:

These neighborhoods have a similar style and character to the homes and streetscape. This does not mean that the homes are exactly alike, just that they share similar

characteristics of style, house type, setbacks, and streetscape character. Major renovation or new construction projects in these neighborhoods require more design sensitivity to the neighborhood than other neighborhood types when they depart from the neighborhood character.



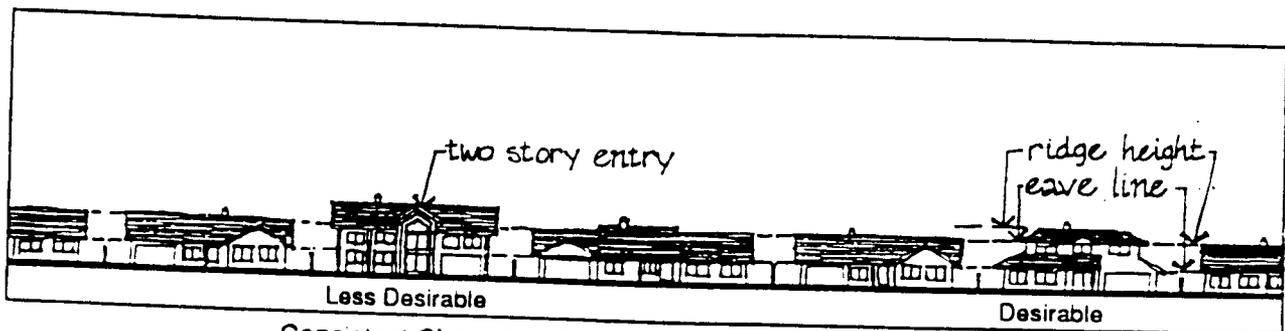
Consistent Setbacks



Consistent Heights/Massing

- In consistent character neighborhoods, *good neighbor* design has design elements, material, and scale found within the neighborhood and sizes that are not significantly larger than other homes in the neighborhood. The emphasis should be on designs that “fit in” and lessen abrupt changes.

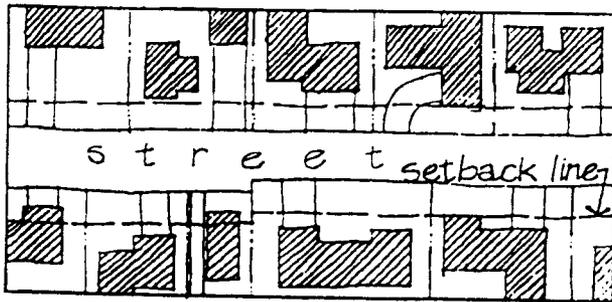
- Approval of an inconsistent design will require mitigating design measures to lessen the neighborhood impact. Mitigation may include change in size, increased setbacks, large trees or other landscape materials for screening and other changes in design to reduce impacts. The goal of mitigation is to soften the differences between the new construction and the existing homes.



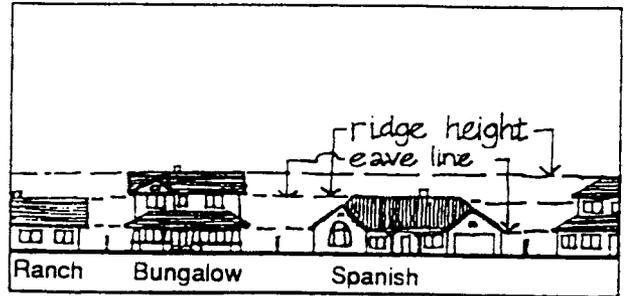
Consistent Character Neighborhood: Remodels & Additions

DIVERSE CHARACTER NEIGHBORHOODS:

In contrast, diverse character neighborhoods contain a variety of architectural styles and may have a varying streetscape as well. This can result from homes which were built in different eras or by individual homeowner/developers, or be a result of a neighborhood in transition.



Diverse House Types & Setbacks



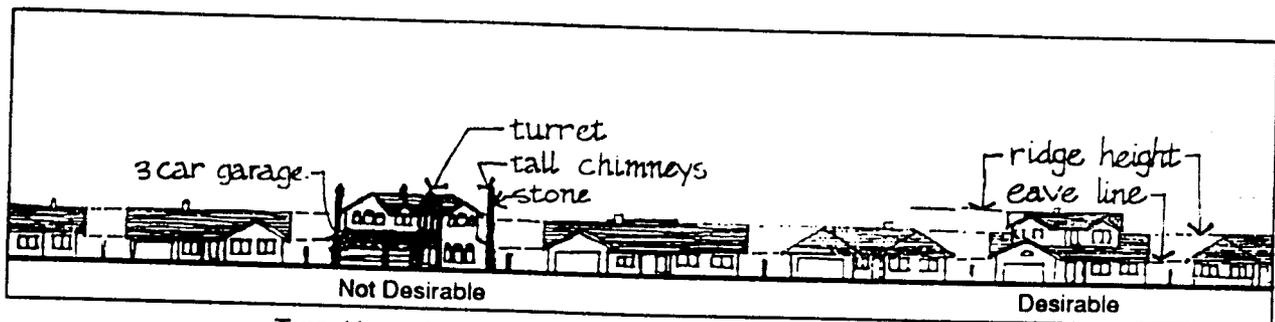
Diverse Styles and/or Sizes

- In a diverse character neighborhood, *good neighbor* design has its own design integrity while incorporating some design elements and materials found in the neighborhood.
- Mitigation for items such as size and bulk may be used for some designs depending on the relationship of a home to its neighbors.

TRANSITIONAL CHARACTER NEIGHBORHOODS:

Transitional character neighborhoods are those that are in the process of changing their character and identity. Major changes include two-story additions in a one-story neighborhood, large homes in a neighborhood of small homes, and many upgraded homes in a neighborhood of older, smaller designs.

- In a transitional character neighborhood, a *good neighbor* design reduces the abrupt changes that result from juxtaposing radically different designs or sizes of structures; proposed projects should not set the extreme and should be designed to soften the transition. Significant deviations could be cause for mitigation.



Transitional Character Neighborhood: Remodels & Additions

4.2 SITE PLANNING

Integration of your home with the site is an important aspect to good design. How your home is sited on its lot in relation to your neighbors, the placement of the garage and

driveway, the amount of impervious pavement, landscaping, the relationship of outdoor activity areas to your neighbors, and setback patterns all contribute to the feeling of neighborliness of your home.

The following illustrates some areas that need to be considered when siting your home.

PRESERVE NATURAL FEATURES

The preservation of existing natural features, such as mature trees, shrubs and other landscape elements should be considered in your development. Particularly, when a house is torn down to allow new development, it is important to minimize the displacement of existing landscaping. A qualified arborist is suggested to review the health of existing mature landscaping and recommend care and treatment. These measures assist you in receiving design approval, particularly with a two-story project.

PLACEMENT OF STRUCTURES ON LOT - HOUSE, GARAGE, DRIVEWAY

The relative placement of the house, garage, and driveway play a major role in shaping the character of a house. When designing a home, it is important to be careful that the garage does not become the dominant feature. An example would be a three-car garage facing the street with a wide driveway. Too much hardscape in the front also dominates. Landscaping, on the other hand, softens the appearance. Consideration should also be given to the depth of setbacks, particularly the front yard setback, in relation to existing setbacks in the neighborhood.

RELATIONSHIP TO ADJACENT PROPERTIES

When designing your home, it is important to be conscious of your immediate neighbors, particularly their privacy. Consideration should also be given to the relative placement of your home to your neighbors' homes. Some areas to be considered include: second story windows and decks with direct views into neighbors' backyards and potential noise and privacy problems associated with the placement of pools, pool equipment, and other outdoor activity areas. When possible, place your outdoor activity areas adjacent to the neighbors' outdoor activity areas. Quite often, this takes special planning on corner lots.

5.0 ARCHITECTURAL GUIDELINES

This section delineates the specific areas in which your plans will be reviewed. It is not necessary to comply with each and every guideline listed - your project will be reviewed as to whether it complies with the overall spirit and intent of these guidelines.

5.1 NEW CONSTRUCTION

New homes can occur on newly created lots in large or small subdivisions or as a result of a tear down of an existing residence. The presence of a new home can create some anxiety in a neighborhood. Conversely, new homes present an opportunity to create a well-balanced, pleasing composition on raw land without existing constraints. The house should integrate site planning, neighborhood, and architectural issues.

Common areas of concern in new home construction include:

1. Fragmented plans resulting in building and roof forms that are more complex than adjacent homes.
2. Larger homes compared to adjacent homes. Designs may look more massive than those of their neighbors due to the size and design of the new home.
3. Lack of architectural compatibility with adjacent homes.
4. Use of oversimplified, incomplete traditional detailing (brackets, molding, window trim, columns) which can have a heavy, clumsy look.

The above are not all the issues related to new construction. A review of the following sections will likely reveal other areas that will apply to your project.

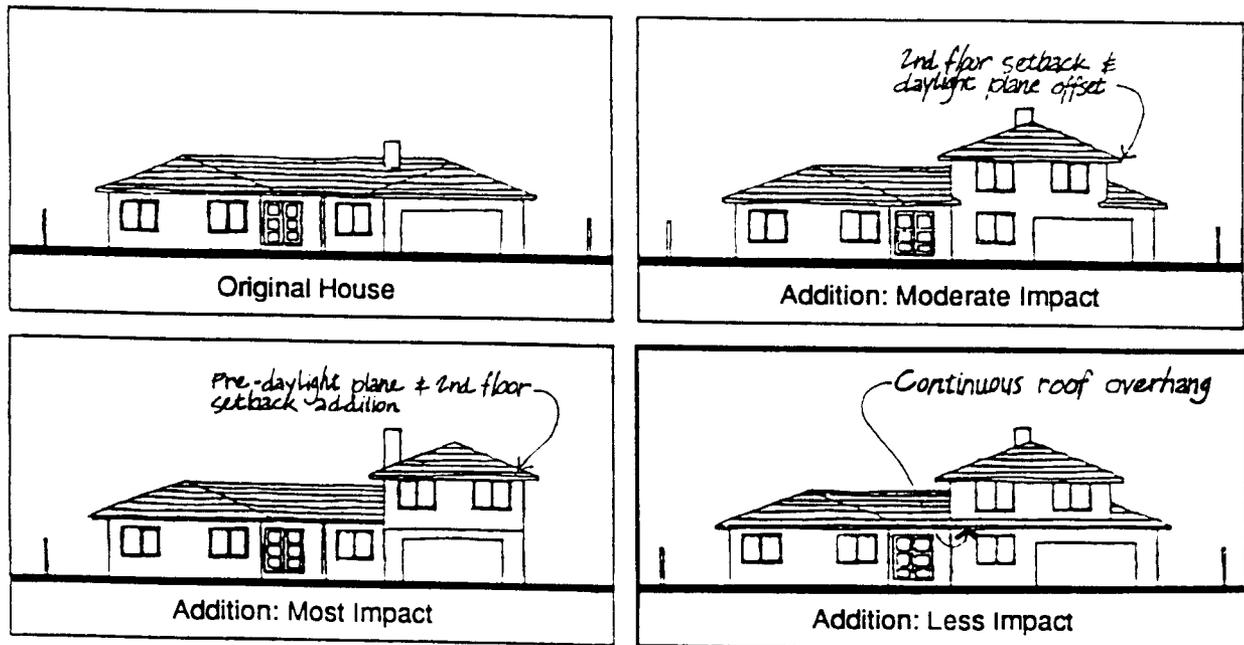
5.2 REMODELS AND ADDITIONS

The goal in designing a house remodel or addition should be a home that looks as if the original house design included the addition. This means an integrated design, as opposed to one that looks as if an appendage had been grafted on the house. Some areas to consider:

1. One-story additions are usually easier to design with minimal impact on the neighborhood concerning privacy, bulk, and overall integration.
2. Two-story additions need care to integrate with the existing house. Give careful attention to issues of proportion, scale, composition and balance to avoid projects that look

poorly integrated. Small second-floor additions are especially difficult; without skillful design they can look as if a little box is stuck on top of the house.

3. Use the same type of materials and detailing found in the original house unless the entire facade is being changed. Usually, using different materials on an addition versus the original house makes the new work stand out, creating a visual patchwork look. (Refer to Section 5.8 for additional information on materials.)



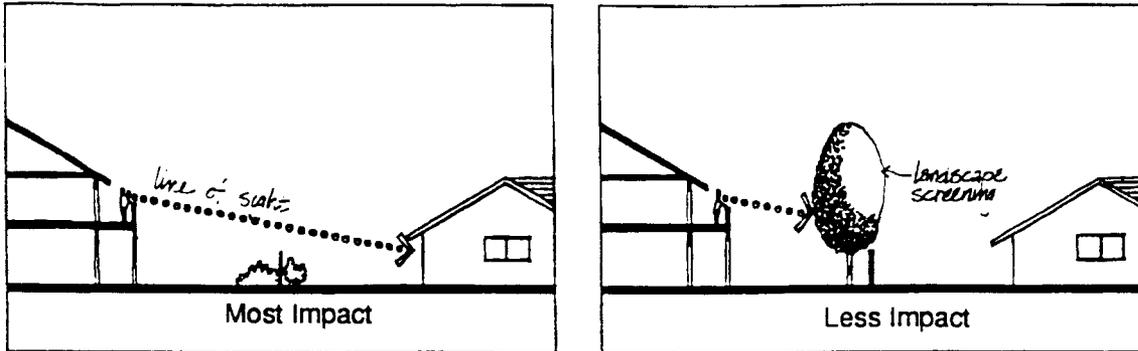
The above are not all the issues related to remodels. A review of the following sections will likely reveal other areas that will apply to your project.

5.3 PRIVACY

Carefully designing your house to prevent unreasonably invading your neighbors' privacy will lessen one of the greatest causes for their concerns about a project.

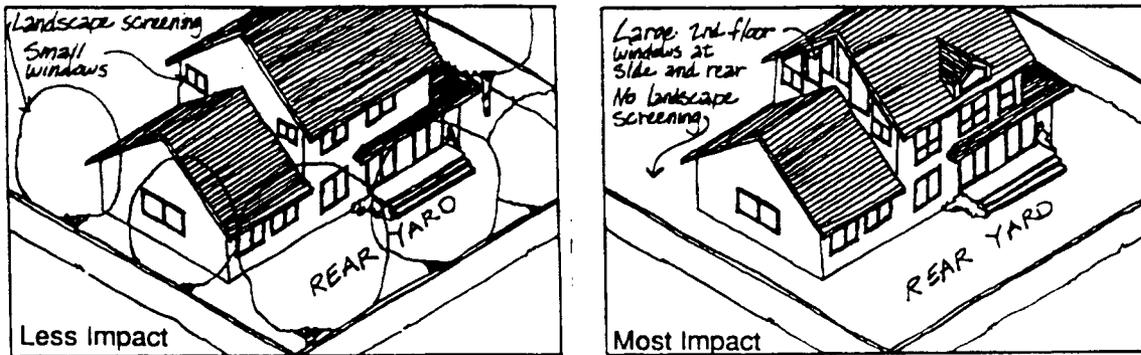
Sensitive areas include placement, location, and size of second floor decks, doors and windows. If properly designed, one can include these elements into the project while avoiding unreasonable privacy invasion. It may not be possible to insure complete privacy to all neighbors, but designs should lessen impacts as much as possible.

- Study sight lines to locate windows and maintain privacy. Carefully size and place windows and other forms of glazing so that sight lines into your neighbors' homes and yards is eliminated. Orient second story windows so that their egress (code required exit windows) is away from neighbors when privacy invasions may result.



- Second floor side yard windows should be no larger than UBC (Uniform Building Code) minimum sizes nor more than the number required for egress or light and ventilation requirements. This mitigation may not be necessary when it can be determined that no privacy impacts will result.

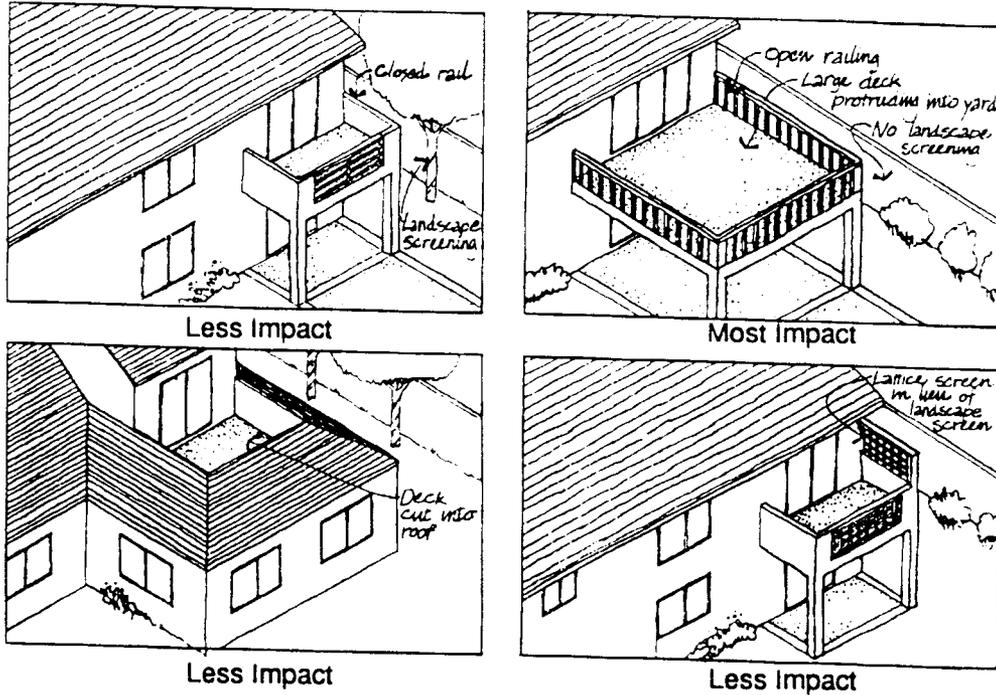
- Landscape screening will be required as mitigation when needed to protect a neighbor's privacy. (Refer to Section 5.5 for information regarding landscaping.)



- Consider the alternative of using skylights for light and air in order to reduce privacy invasion.

- Second floor decks oriented towards side or rear yards should use appropriate screening measures when privacy invasion would otherwise result. They should be a size (generally four feet in depth) that limits the use of the deck to

passive uses unless no privacy invasion will result. Screening devices may include solid railing walls instead of open railings, latticework above the required railing height to obscure sight lines, and landscaping.



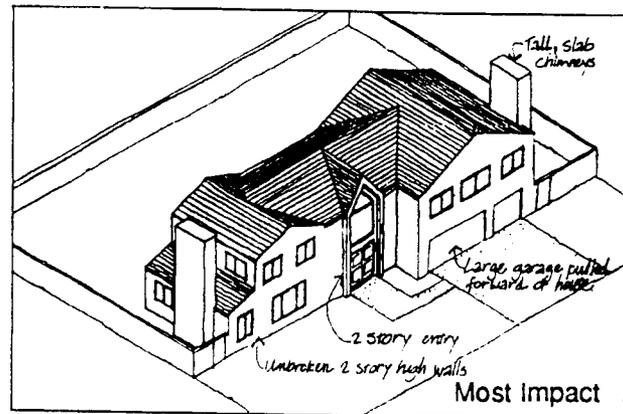
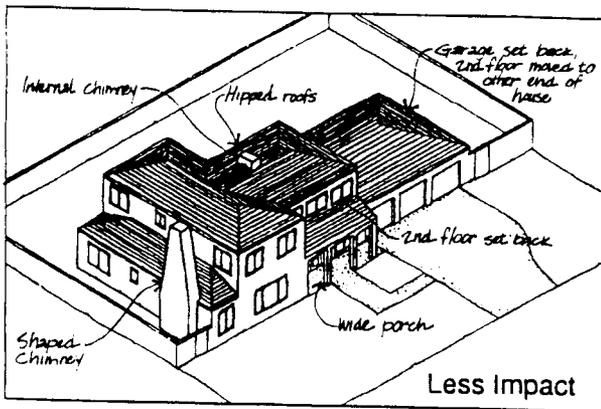
- Locate first floor decks as close to grade as possible, to lessen privacy invasion to neighbors.
- Designing a one-story house addition on a lot that has a higher grade elevation than the neighbors requires the same design sensitivity as with a two-story house, since it can have the same privacy impact on the neighbors located at a lower elevation.
- Locate pools to allow for adequate in-ground landscape screening (generally five feet minimum width) at the edges of the property.
- Locate pool equipment as far away from your neighbors as possible. See the Building Guide for noise mitigation requirements.
- Attempt to locate your outdoor areas adjacent to neighbors' outdoor activity areas, rather than in close proximity to their quiet areas (bedrooms).

5.4 DESIGN TO MINIMIZE BULK

One of the biggest issues (other than privacy invasion) raised by residents concerning additions or new homes is that they are too massive or bulky, which may result in homes that stand out from the rest of the neighborhood.

Part of this perception is due to the size and mass of the house compared to the size of the property. Usually, the perception is that the home is too big for the lot.

A home should be designed to fit the lot and surroundings and with internal design integrity. Then, the elements you have chosen must lend themselves to reducing the perception of bulk.



There are many ways to reduce the perception of bulk. Some of these include:

- **Use of more than one material on an elevation is appropriate to break up the vertical mass of the house.** Sometimes an accent material such as a low horizontal band of brick or stone with stucco or wood siding above can be appropriate. However, too many elements can add to the appearance of bulk; good design must achieve balance.

- **Soften the elevation with the use of architectural elements** (porches, bays, overhangs, trellises) and detail (moldings, trim, brackets, etc.). Be careful not to overdo, though.

- **Use color changes to help visually break up the elevation.** For example, painting the triangle area in a gable end one color and using a shade (or color) lighter or darker below.

- **Provide some variation in large expanses of wall and roof planes.** For example, cantilever the second floor over the first floor.

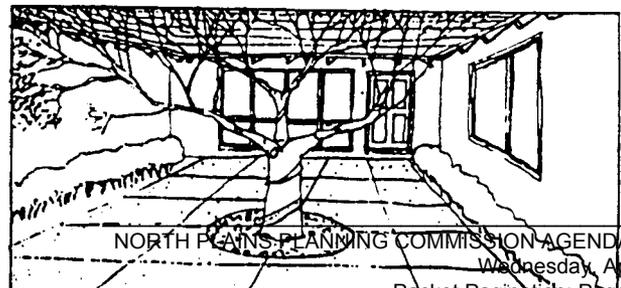
- **Use horizontal elements to soften vertical ones in an elevation.** A change of direction in siding or adding moldings in stucco can achieve this.
- **In some cases, a simplification of shapes and materials will reduce bulk.** For example, too many different materials and changes in types of windows add to the complexity of the facade.
- **Minimize use of tall or two-story-high design elements.** This would include two-story entry ways, turrets, etc.
- **Use visually heavy materials sparingly, particularly on two-story designs.** Use stone or brick as an accent material or as a wainscot on an elevation.
- **Choose landscape materials to help soften the appearance of bulk.** This should not be a substitute for good design, however.
- **Keep second floor exterior wall heights as low as possible.**
- **Use roof forms that reduce bulk** (low to medium pitch, minimum number of hips and valleys).
- **Avoid massive, tall chimneys.** Locate them either on an internal wall or centered on a gable end when possible.
- **Design the house from the “outside-in”.** Houses designed from the “inside-out” rather than the reverse tend to look lumpy and lack a clear overall design. This often adds to the perception of excessive bulk.
- **Lower the height of a two-story house below 27 feet maximum to mitigate other design issues.**

Keep in mind that overdoing anything can result in added bulk.

5.5 LANDSCAPING

Natural features, such as mature trees, rock outcroppings, and other landscape elements should be retained; quite often they can serve as design inspiration.

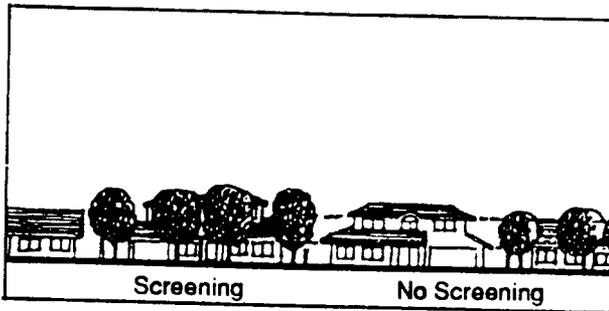
- **Designs should take advantage of natural features found on site.** Natural features include mature trees and other landscape materials (hedges, tall shrubs), rock outcroppings, and creeks.



Design around existing landscape features

- **Mature landscape features should be preserved when possible, especially if they will screen your project from your neighbors.** This works to maintain privacy protection for two-story designs. The landscape will visually soften your house, and it will look as if it has been there for a long time. To reduce the potential loss of trees and other landscape materials, check with a certified arborist for the minimum distance needed from new construction.

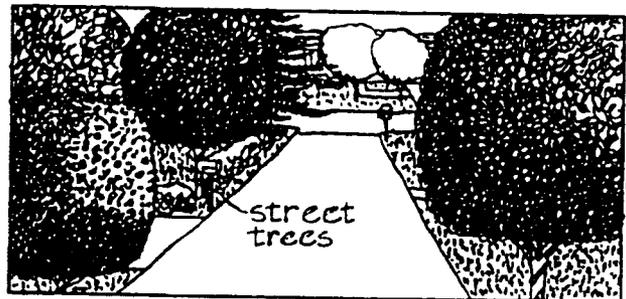
- **Plant nondeciduous trees or shrubs for screening.** This lessens privacy invasion with two-story designs along side and rear property lines. The goal of mitigation is to have two-story high trees next to two-story houses. Trees planted for mitigation shall be 15 gallon size or larger.



- **Plant trees in the front yard to soften the impact and view of new construction.** This is especially important with two-story designs, in which case a minimum of one to two trees which will achieve sufficient height in five years to buffer the house shall be required.

- **Plant in the street right of way area in front of your property where possible.** Check with the City Engineering Department about underground utilities and on-street parking needs that would affect planting in this area. If planting can occur in this area, an encroachment permit must be obtained from the Engineering Department prior to installation.

- **Plant in the street right of way**



- **Plant drought tolerant landscape materials where possible.**

- **Use a water-conserving irrigation system on your property.**

5.6 HOUSE, GARAGE, and DRIVEWAY PLACEMENT

The relative placement of the house, garage, and driveway plays a major role in shaping the character of a house. A streetscape dominated by garage doors at the setback line, with the house further back will have a very different character than the reverse. Three car or larger garages require a lot of design attention to avoid dominating the house design.

The shape, size, and material of a driveway will have a large impact on the property's character. As the area of pavement increases, there is a corresponding decrease in landscape area. This can have a very detrimental impact on the neighborhood character and is contrary to the desired semi-rural Los Altos streetscape image.

In order to present a well designed and friendly facade:

1. Orient the front of the house parallel with the street.
2. Avoid designs that make the garage the focal point of the house.
3. Reduce the amount of front yard setback area devoted to vehicular parking to allow for more landscaping.

DRIVEWAYS

With respect to driveways, the following *do's and don'ts* should be observed:

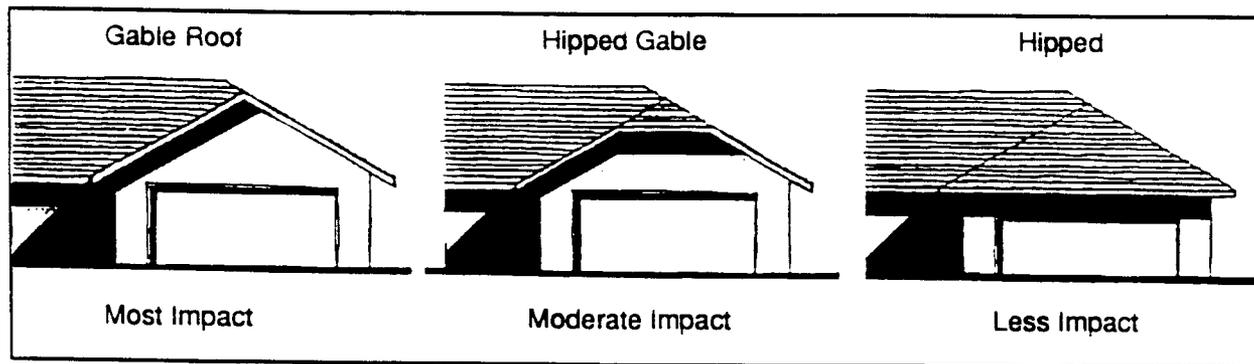
- **Avoid circular driveways as they increase the amount of paved area in the front yard.** However, they may be appropriate on properties entering onto busy streets (they allow cars to avoid backing into the street) or on streets with minimal on-street parking. Mitigate circular driveways by heavily planting the "inner circle" with shrubs and tall trees to screen and soften the view of vehicles in the driveway. Other options include using berms or fences, along with planting. Keep the driveway width to a minimum.
- **Consider using paving materials other than plain concrete or asphalt, as the driveway paving material has a big impact on the visual character of the property.** Many of these materials allow water to run down into the ground instead of running off into the street. Suggestions are as follows: brick pavers, stone, gravel, interlocking pavers, special concrete (exposed aggregate, colored concrete, salt textured, simulated brick, and cobblestone). One can combine these materials to provide visual interest and sometimes obtain lower construction costs.

GARAGE PLACEMENT

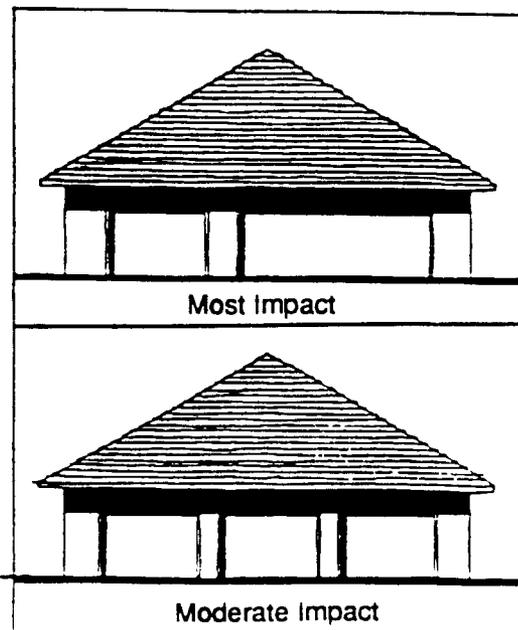
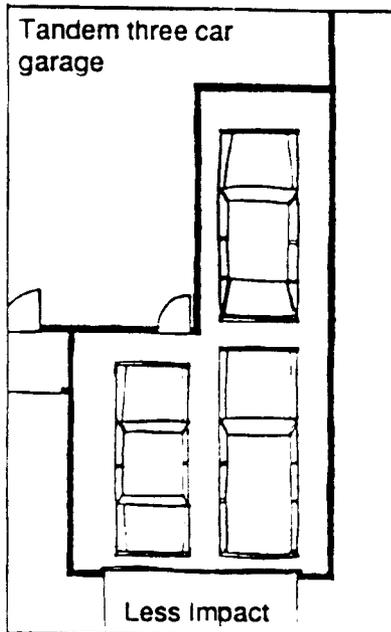
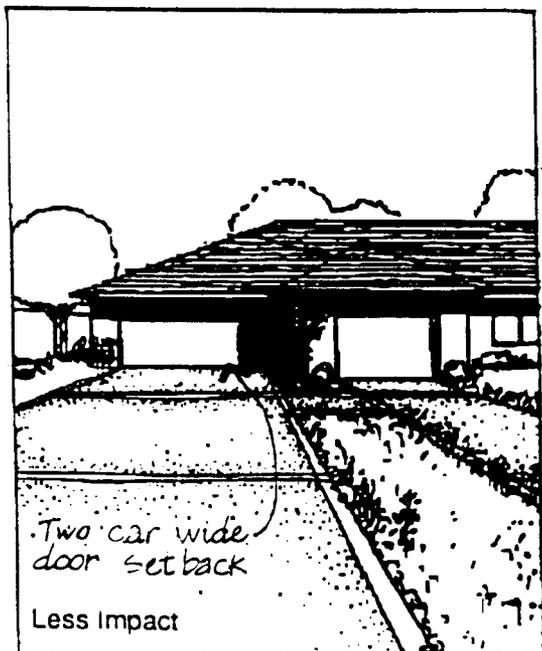
Desired approaches to making the garage less prominent include:

- **Set garages back from the front of the house.** A setback of three feet can make a difference.
- **Turn the entry to the garage away from the street.** This will allow for the facade to look more like a house and not a garage.
- **If neither of the above is possible, set the garage doors back from the face of the garage at least one foot.** Another option is to add a trellis or other architectural feature across the top of the garage doors. Check the Building Guide (Accessory structure section) for setback and other regulations for trellises.

- Another technique to make the garage less dominant visually is to use a hipped or hipped gable roof instead of a full gable roof.



- Reduce the visual impact of a three-car garage by the following:
 1. Use a tandem parking layout inside a two-car-wide garage.
 2. Use three single-car-wide garage doors instead of a double and a single.
 3. Set back one of the doors from the others.
- Design the garage with a well balanced facade.



5.7 ARCHITECTURAL DESIGN ELEMENTS

The palette of design elements in architectural facade and building form compositions includes the following:

- Walls/corners
- Base: wainscots
- Roof: slopes, flat roofs, parapets, cupolas, dormers
- Projections: bays, overhangs, brackets, decks
- Appendages: columns, porches, trellises, decks, balconies
- Windows and doors
- Architectural detail and trim
- Materials
- Staircases

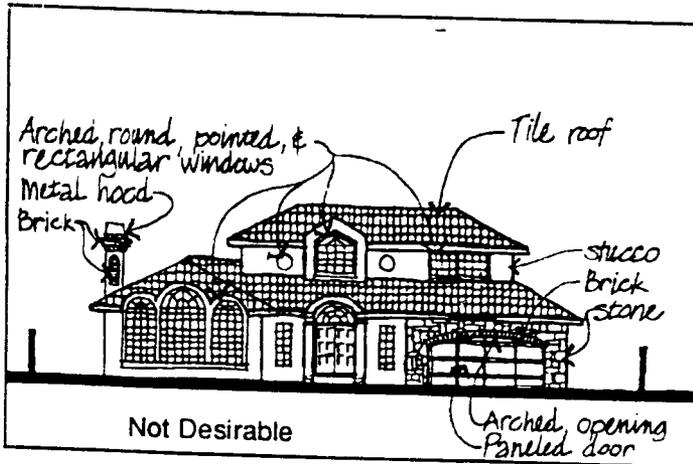
Each of the above elements, if properly used, can make a pleasing architectural composition. The skill of the designer is in knowing when to use particular elements and in what combinations. Also, the scale of elements and their proportions are critical to good design.

Some common mistakes are:

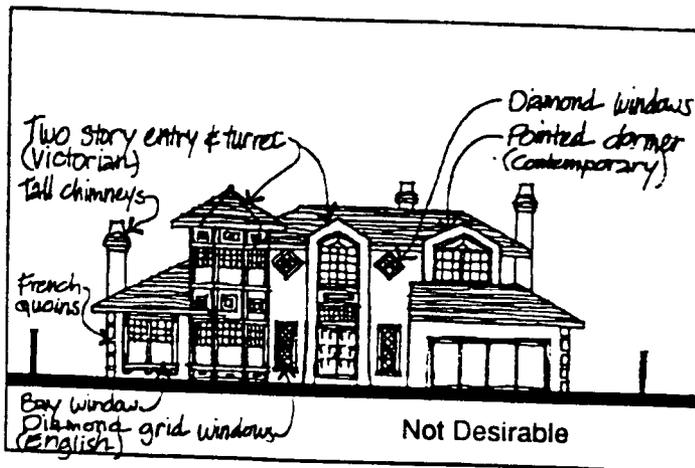
- Using too many different materials.
- Using too many different elements.
- Using too many different window types and shapes.
- Mixing elements from different styles.
- Using too many vertical elements.

(See next page for illustrations of common mistakes in the use of architectural design elements.)

The two pictures below represent all of these common mistakes:



- Uses too many materials
- Uses too many elements
- Uses too many different window types and shapes



- Mixes elements from different architectural styles
- Uses too many vertical elements

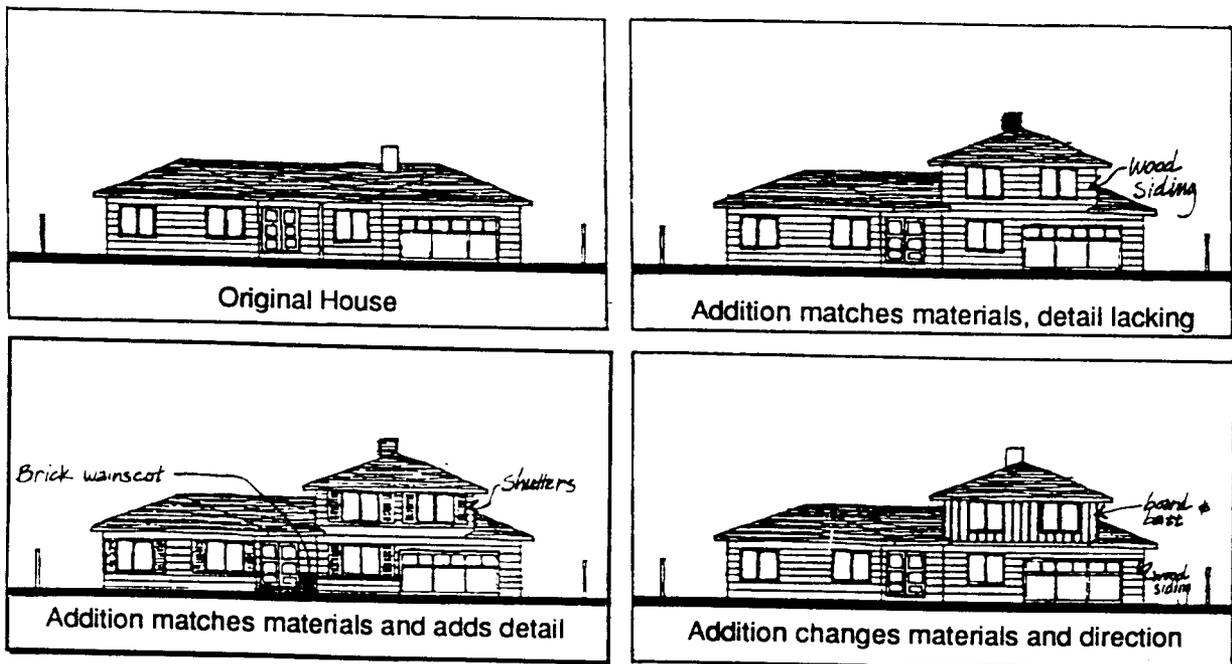
5.8 BUILDING MATERIALS

Each traditional architectural style has specific materials that belong to that style. The proper use of materials is very important to a successful design.

- Use materials appropriate to your style of house and/or neighborhood.
- Avoid using too many types of materials on an elevation. Usually, no more than two siding materials are recommended to add visual interest. Be careful in mixing stone and brick on an elevation, or mixing metal and wood windows.
- Mixing roof materials is not desirable except in limited situations. For example, a curved top dormer may need a metal roof on a house with tile or shake roofing. A pitched roof may have an addition with a flat roof section.

- Use **nonreflective roof materials** (e.g., anodized bronze skylight frames and glazing, terra-cotta or painted metal chimney hoods, etc.).
- Select **skylight glazing material** to avoid excessive glare at night.
- **Avoid overusing visually heavy materials such as brick or stone on walls**, as they can make a house look very massive and bulky. Some traditional architectural styles may use a lot of heavy materials. These styles must carefully integrate the materials into the overall design through proper detailing and to avoid a heavy look.

Following are examples of how building materials can be used satisfactorily in a remodel and addition project.



5.9 FACADE AND PLAN COMPOSITION

The word facade derives from the Latin word *facies* which means face or appearance. Until the 1940's, making pleasing, beautiful facades was a very important aspect to architectural design. Recently, there has been a renewed interest in facades.

Intertwined with facades is the issue of the floor plan layout. A well-designed plan gives one a headstart in making a good facade. Historically, facade-making relied on the notion of subordinating the interior design to the look of the exterior. This meant aligning a window over a doorway or centering it within a gable roof even if it were off-center inside the room.

Newer homes have often reversed this idea and are often designed from the inside out. This results in elevations where windows and doors do not relate visually to one another, nor look as if they are part of a larger design composition. Other common problems are the use of too many varieties of window shapes or types, or the use of a complex roof line.

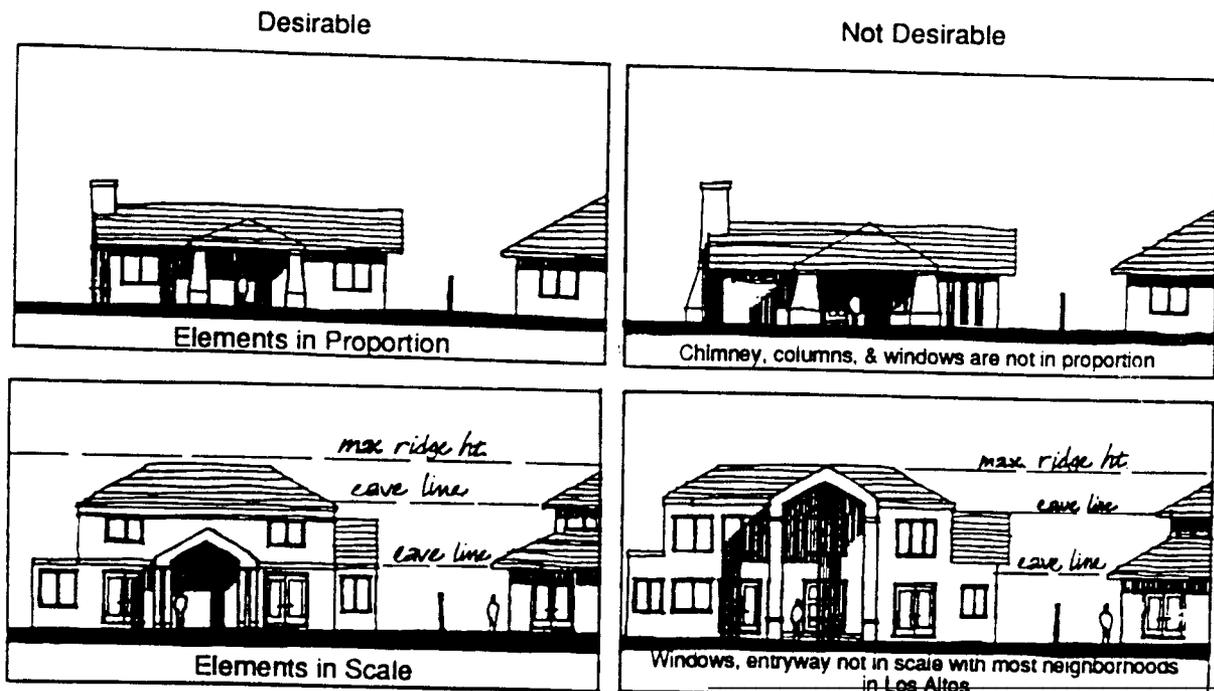
As the name suggests, a facade makes the house face to the street, and in turn sets the tone of the neighborhood. A house can either make a gesture of greeting or can turn its back on the street. The facade can present a friendly or unfriendly face, or a balanced or unbalanced look.

A friendly street has facades that relate directly to it. Even on busy streets where it is tempting to turn inward away from the street it is possible to design a face that addresses the public.

5.10 ARCHITECTURAL PROPORTION AND SCALE

The proper use of architectural proportion and scale has a major impact on the visual quality and perception of a home. The architectural term *proportion* refers to the relative size (or ratio) of one dimension to another, as in height to width. Lack of proportion can be seen in columns that are either too skinny or too fat or windows that look like slits.

Scale in architectural terms refers to the size of the object itself compared to another object or person. When something is "out of scale", it means it is not in proper proportion with something else around it. Problems with scale can include entries that are too tall or too squat, roofs that are too large for the house, and chimneys that are too massive.

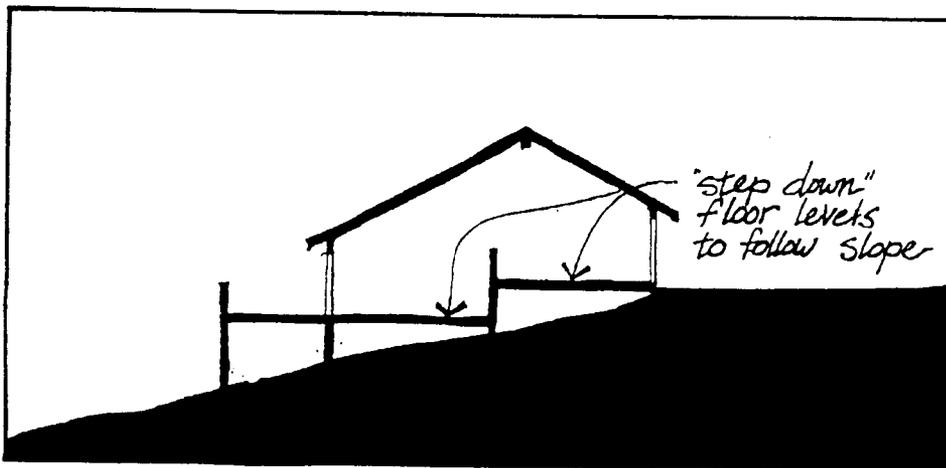


5.11 HILLSIDE LOTS

In order to preserve views on hillside lots, there is often a lack of mature, tall landscape materials to soften the visual impact of the houses. This makes the quality of the house design even more important. The lack of screening also creates a condition where one neighbor can look into another neighbor's yard more readily than in a flatland situation.

Some traditional architectural styles may not lend themselves to a hillside lot without adaptation.

- Dwellings on hillside lots should reflect the topography in their designs by following the natural contours of the site, with minimal grading. They should neither look like "flatland houses" put on stilts, nor three-story homes.
- Use landscaping that softens the view of the house and reduces privacy invasion, while not cutting off views entirely.
- Use split-level and multi-level plans.



Upslope Lots

Houses on upslope lots tend to look more massive due to the viewing angle. Therefore, attention should be given to reducing the perception of excessive bulk.

- Avoid tall walls under the first floor by stepping the floor level with the grade.
- Screen any open space under the living space above with either lattice or solid wall infill. To soften these areas, plant landscaping in front of them.
- Avoid tall unbroken expanses of wall.

Downslope Lots

Houses on downslope lots may look smaller from the street than they really are due to the viewing angle. Also, the roof is much more prominent visually than on other lots. The house may appear massive as viewed from lower neighboring properties to the rear and sides.

- **Avoid tall walls that support the first floor by stepping the floor level with the grade.**
- **Screen any open space under the living space above with either lattice or solid wall infill.**
- **Avoid tall unbroken expanses of wall.**
- **Study the design of the house with an emphasis on how the house will appear in perspective from the street.** Pay close attention to the roof shape, materials, and detailing since this will be a dominant architectural feature. Avoid looking down onto tar and gravel or membrane roofs.
- **For rear and side elevations that present an upslope appearance to lower, neighboring properties, use the guidelines for upslope lots.**

5.12 HISTORIC HOUSES

Adding to or remodeling a historic home presents a very special challenge to maintain the historic features. Consideration of the site as well as the house itself is very important in preserving the design integrity of the historic house.

A building project next to a historic home also presents a unique design condition. You need to be sensitive to the historic neighbor and not diminish its design integrity. Alterations to historic properties will involve review by the Historical Commission. Check with the Building Department to see if your property is on the list of historic properties.

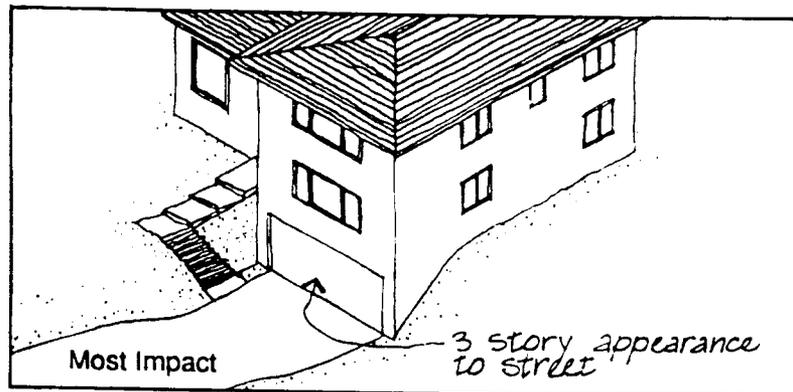
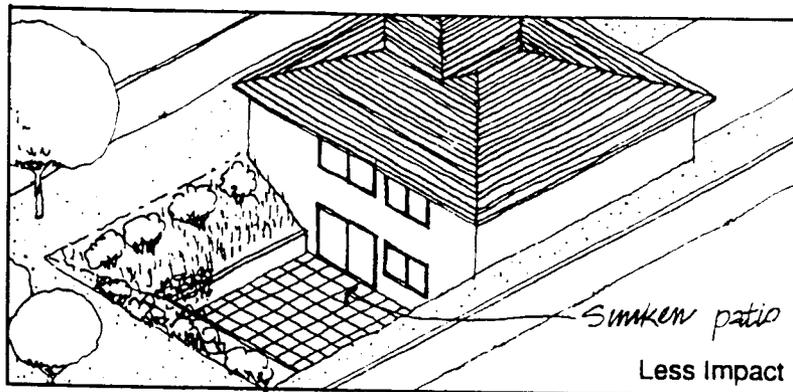
5.13 BASEMENTS

Under some circumstances basements provide an opportunity to add more square footage than allowed by the FAR regulations. However, a basement can have the effect of adding a bulky appearance to an elevation. For example, an underground garage with two floors of living space above could appear as a three-story house to the street.

- **First floor elevations should be no more than 16-22 inches above existing natural grade with a basement below. This will prevent the perception of additional bulk and/or height as well as any associated privacy impacts.**

- Avoid designing a two-story home above a daylight basement (with an exposed wall) when the house would appear from the street to be three stories in height.

- Hillside homes with basements are a different situation than those described above. The intent here is to avoid an unbroken three-story wall.



I. What do I need to know?

A. Compliance with Zoning

The zoning code, Title 18, is used to determine the size of structures and the way they are situated on a lot including:

- Zoning district*
- Size, including floor area
- Lot coverage (footprint of home)
- Setbacks
- Building height
- Garage spaces & off-street parking
- Landscaping (existing and proposed)
- Fences and walls
- Construction staging

B. Design**

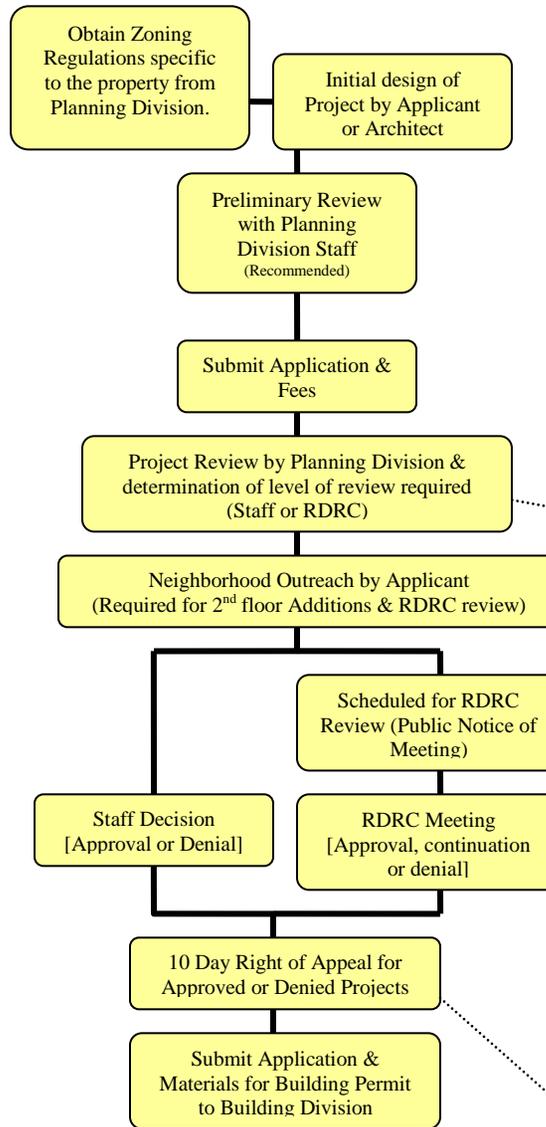
The zoning code also includes design review criteria used to evaluate the project's neighborhood compatibility. These criteria address the following:

- Building proportions, massing and architectural details
- Proposed design relates to existing structures and the built & natural environment
- High quality exterior materials
- Location and type of landscaping features
- Neighborhood compatibility
- Review required: Staff or RDRC

* Please contact the Planning Division to confirm your zoning district.

** All residential projects are required to comply with the Design Review Criteria.

II. Project Review Process



Helpful Web Links:

- Title 18, Zoning: www.codepublishing.com/CA/sancarlos
- Planning Division: www.cityofsancarlos.org/planning
- The American Institute of Architects, San Mateo

III. Helpful Hints for the Review Process

- Hire a qualified architect or designer experienced with San Carlos zoning, building codes and design criteria.
- Meet with Planning Staff during early project planning to ask questions and determine the process and timeline.
- Communicate early with the neighborhood; share your preliminary plans, listen, and respond to neighbor's questions.
- Be prepared with design alternatives which may mitigate any potential issues.
- Some projects are reviewed & approved at Staff level while others require review by the RDRC. (see below)

Criteria for review by the Residential Design Review Committee (RDRC):

- All new homes;
- Additions that create residence greater than 3,000 s.f. on lots less than 7,500 s.f. in area;
- Additions which create residences with total square footage equal to or greater than 40% of lot size;
- Additions which create residences on slopes of 5% or greater with a total square footage equal to or greater than a percentage of the lot size based on a sliding scale tied to slope of the lot; and
- When the Community Development Director, in his/her opinion has determined that the public interest would be better served by referral of an item directly to the RDRC.

RDRC meeting will include a presentation by Planning Staff & applicant as well as a public comment session and a vote by the three-member RDRC.

Approval or Denial can be appealed within 10 days of date of decision (fee required).

IV. Factors to Consider in Design:

A) Minimize Bulky Additions

- A welcoming front porch or similar feature of 40 s.f. minimum
- Garage entrances setback a minimum of 5' behind the front of the home
- Design the residence as a series of segments as opposed to a single, massive structure
- Use features such as windows, bays or doorways to break up continuous planes
- Use of high-quality exterior materials—plywood siding and foam trim are now prohibited

B) Hillside Overlay District

- Design & relate the building to the site with considerations that it be the most accessible, least visible and most geologically stable location for the structure
- Overall height limit of 35' from lowest finished grade to highest point (ridge)
- Limit downhill facing facades to 20' in height with a 15' setback to the next elevation required
- Use fire-resistive construction in areas of high potential fire hazard & enclose unexcavated areas below the structure
- Landscaping shall be designed to screen walls, parking and accessory structures and be fire resistive

C) Landscape Features

- Use plant materials to soften & screen the view of the building & blend with building design (native plants recommended)

- Use of Low Impact Development practices to lessen water demand

D) Design for the San Carlos Green Building Ordinance

- Project must meet mandatory requirements of Cal-Green
- Must be 15% above minimum energy efficiency standards

General Planning Terms:

Setback: The distance from the building wall (outside of framing) to the property line required to be left clear.

Lot Coverage: The area of a lot occupied by the residence, accessory buildings & structures exceeding eighteen inches in height. (Footprint of the residence from a bird's eye view). This does not include eave overhangs of up to 24 inches.

Floor Area: The square-footage sum of the floors of a residence, including the garage area, measured from the outside perimeter of the exterior walls.

RDRC: The Residential Design Review Committee is a three member committee that consists of a Planning Commissioner and two appointees of the City Council. The RDRC assures that the general appearance and architecture of residential structures are in keeping with neighborhood character.

City of San Carlos Planning Division

600 Elm Street
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Guidelines For Preparing Your Planning Division Submittal

Home Remodel or New Construction



<http://www.cityofsancarlos.org/planning>

April 2012

Margaret Reh

From: thezins@aol.com
Sent: Wednesday, March 11, 2015 9:13 AM
To: Margaret Reh; darylolsen_2@msn.com; doug@acircuits.com; heather.m.labonte@gmail.com; newjob.newcareer@gmail.com; lonnieknodel@gmail.com; stewart@tristarproperty.com
Cc: Martha DeBry
Subject: Hierarchy List
Attachments: Hierarchy.docx

As promised in the last Planning meeting, I have added addresses and references to the list of Development Controls. Most of these are in Hillsboro and are locations where the controls can be seen as examples of development. Some of the locations show multiple examples in their implementation. Locations are added in RED.

Best regards,
Garth Eimers



CITY OF NORTH PLAINS

31360 NW Commercial Street, North Plains, Oregon 97133

Date: April 1, 2015
To: North Plains Planning Commission
From: City Manager Martha DeBry
Subject: Discussion of Code Sections 16.05, 16.125, 16.130, 16.135, and 16.150

Background: Per the request of Commissioners Nunnenkamp and LaBonte code sections 16.05, 16.125, 16.130, 16.135, and 16.150 have been placed on the agenda for discussion. Staff could not review the codes in time for this agenda and is presenting no changes for consideration. Attached is Commissioner LaBonte's memo regarding areas she would like to discuss.

Recommendation: No recommendation.

Margaret Reh

From: Stewart King <stewart@tristarproperty.com>
Sent: Wednesday, April 01, 2015 2:53 PM
To: Heather LaBonte; Margaret Reh
Subject: Re: April PC meeting
Attachments: North Plains Code Revisions.pdf

Heather,

Doug has asked for a review of 16.150 Street Standards.

Margaret,

Can you add a review and discussion on the other items on Heather's list?

Stewart King Tri-Star Properties, Inc. stewart@tristarproperty.com www.tristarproperty.com Phone: 503-647-9340 Cell: 503-939-9174 On 4/1/2015 2:45 PM, Heather LaBonte wrote:

> Hi Stewart,
> I don't know what the agenda looks like yet, but I would like to
> discuss some code changes.
> See attached for my beginning suggestions.
> Heather

3/31/15 North Plains Code Revisions

16.05 Definitions

Lot

Lot of Record

Taxlot

16.125 Lot Development Standards

16.125.005 Scope

Add Created after the implementation of zoning (could also add date)

16.125.0110 Standards for Lots

H- Land for public use- clarification

16.130 Land Partitioning

16.130.20 Process for Final Partition Approval

C- Recording of Approved Partition Required. *Modify last sentence, as building permit for SFD should be allowed if parent parcel qualifies*

16.135 Subdivisions

16.135.011 Preliminary Plat approval criteria

F- How do they provide evidence improvements/conditions have been or can be met?

16.135.015 Preliminary Review of Tentative Subdivision Plan

E- does this remain?

16.135.030 Submittal of Final Subdivision Plat

3- Remove Block

5-Remove last sentence (easements cannot be located in owners certificate of dedication, they are to be listed in plat notes)

8- Remove

9a-remove record title and replace with ownership. All other interest shall sign consent affidavits which will be noted on the plat

16.135.035 Final subdivision plat review

A. 3rd sentence modify-The planning commission chairman or if unavailable their designee shall signify planning commission approval of the final plat by signing the mylar plat. However, if the plat includes dedication of any newly created public roads the city council or their designee shall signify acceptance by also signing the mylar.

16.135.045

The applicant is responsible for recording the approved subdivision plat with the Washington County recorders office. A building permit shall not be issued, or parcel sold, transferred or assigned until the approved subdivision has been recorded. However, if the parent lot(s) were determined to be legal lots of record they would qualify for a permit.

16.150 Street Standards

16.150.115 General Right of way & improvement widths

First sentence- *remove and/or and replace with and*

Chapter 16.05 DEFINITIONS

100-Year Flood Plain: Land subject to one percent or greater chance of flooding in any given year as defined by the Federal Insurance Administration (FIA) on its official Flood Insurance Rate Map (FIRM). In this Ordinance, "100-year flood plain" is synonymous with "area of special flood hazard."

Access: The way or means which allows pedestrians and/or vehicles to ingress and egress a property.

Accessory Structure or Use: A detached, subordinate structure, the use of which is customarily incidental to that of the dominant use of the main building, structure, or land and which is located on the same lot or parcel as the main building, structure or use. Examples of accessory structures or uses include, but are not limited to, private garages, greenhouses, decks, fences, arbors, gazebos, air conditioners, heat pumps, tool sheds and satellite dishes per definition. (An Accessory Dwelling is not considered an Accessory Building or Use. See definition for Dwelling, Accessory.) Accessory structures and accessory uses are not allowed in floodplains or floodways.

Alcoholic Beverage Establishment: A commercial establishment including, but not limited to, bars, taverns, pool halls, coffee houses, or similar establishments where a dance floor, music, games, or other entertainment may be provided and where the sale of alcoholic beverages is an integral component of the business.

Alley: A narrow street primarily used for vehicular service access to the back or side of properties otherwise abutting on another street.

Amusement Enterprise, Indoor: Any enterprise, wholly contained within a structure, whose main purpose is to provide the general public with an amusing or entertaining activity. Indoor amusements may include arcades, skating rinks, dance halls, theaters, ice rinks, pool halls, bowling alleys, indoor shooting ranges, health/sports facilities/gyms, and similar enterprises. Indoor amusement enterprises may also include business that hold classes in acting, art, dance, music, photography, and martial arts.

Amusement Enterprise, Outdoor: Any enterprise whose main purpose is to provide the general public with an amusing or entertaining activity. Outdoor amusements may include zoos, carnivals, expositions, miniature golf courses, fairs, exhibitions, athletic contests, rodeos, tent shows, Ferris wheels, children's rides, roller coasters, private soccer and baseball fields, go-cart tracks, archery range, golf courses, driving ranges, and similar enterprises.

Animal Care Facilities: A place where animals are boarded and/or bred, including, but not limited to, veterinary clinics, stables, dog day cares, animal groomers, and kennels.

Art Studio or Gallery: Where objects of art are created or displayed for public enrichment or where said objects of art are displayed for sale (including, but not limited to, the teaching of photography, painting, sculpture, and other similar skills) as the primary use of the structure.

Automobile, Recreational Vehicle or Trailer Sales Area: A lot used for display, sale, or rental of new or used automobiles, recreational vehicles, light trucks, or trailers, where no repair work is done except minor, incidental repairs of automobiles or trailers to be displayed, sold or rented on the premises.

Automobile Service Station: A building designed primarily for supplying of motor fuel, oil, lubrication and accessories to motor vehicles, but excluding major repair and overhaul.

Awning : A roof-like cover extending over or in front of a place (as over the deck or in front of a door or window) as a shelter.

Bed and Breakfast Inn: A structure where rooms are rented to transient paying guests on an overnight basis and meals are served where no cooking facilities are provided in the rooms.

Building: A structure built for the support, shelter, or enclosure of persons, animals or property of any kind.

Bulk Storage Tank: A container for the storing of chemicals, petroleum products, grains, and other materials for subsequent resale to distributors or retail dealers or outlets.

Bus Depot/Terminal: A use that includes a building and area in which patrons may purchase tickets for bus transportation. Bus terminals may provide for the storage, maintenance, and services of busses including repair, washing, and fueling facilities.

Business Office: A room or group of rooms used for conducting the affairs of a business, profession, service, industry or government and generally furnished with desks, tables, files, and communication equipment.

Carport: A structure which has enclosing walls for less than 50% of its perimeter covered with a roof and constructed specifically for the storage of one or more vehicles.

Catering establishment: A business where the scope of activity is the preparation and sale of meals and beverages for consumption by large parties in conjunction with events such as weddings, parties, and other events with large numbers of attendees.

Child Care, Certified Center: As defined by the State of Oregon, a Certified Child Care Center typically provides care for more than 12 children in a building that usually is constructed as other than a single-family dwelling.

Child Care, Certified Home: As defined by the State of Oregon, a Certified Child Care Home provides child care for up to 12 children, and may be certified for up to 16 children with prior approval from the State of Oregon; and is located in a building constructed as a single-family dwelling.

Child Care, Registered Home: As defined by the State of Oregon, a Registered Child Care Home provides child care to more than 3 children and up to a total of 10 children at any one time, unless they are all from the same family; provides child care on other than an occasional basis; or receives payment from an agency that requires registration.

City: The City of North Plains, Oregon.

City Planner: The City employee or contractor authorized by the city manager or City Council to implement, administer, interpret and enforce the Zoning and Development Ordinance

Civic/government use: Uses that principally serve a public need, such as libraries, museums, post offices, parks, community centers, police stations, and fire stations.

Clinic, Medical & Dental: A facility operated by one or more physicians, dentists, chiropractors, or other licensed practitioners of the healing arts for the examination and treatment of persons solely on an outpatient basis.

Cold Storage Facility : A commercial establishment where foods or other commodities are stored either in lockers, rented or leased, or in vaults in bulk for distribution to the home or other commercial businesses. No slaughtering of animals or fowl is allowed on the premises.

Country Club: Land area and buildings containing golf courses or other recreational facilities, a clubhouse, and customary accessory uses, open to members and their guests.

Commission: The City of North Plains Planning Commission.

Conference/Convention Center: A large civic building or group of buildings designed for conventions, industrial shows, and the like, having large unobstructed exhibit areas and often including conference rooms, hotel accommodations, restaurants, and other facilities.

Condominium: A condominium or townhome is a group of housing units where each homeowner owns their individual unit space, usually from the wall studs in, and share

ownership of most or all common elements. Condominiums are subject to the provisions of ORS Chapter 100.

Council: The City of North Plains City Council.

Dwelling, Attached Two Family: A two family dwelling, with each dwelling unit being located on its own lot, and sharing one common wall and common property line with the other dwelling unit.

Drive-in/Thru window: A takeaway restaurant, bank, etc. designed so that customers can do business without leaving their cars. This may include, but is not limited to, fast food, bank, and pharmacy drive-thrus.

Dwelling, Accessory: A detached, secondary, and subordinate dwelling unit which is located on the same lot or parcel as the main building, structure, land, or use. Examples of accessory dwellings include, but are not limited to, granny flats, garage apartments, and accessory apartments.

Dwelling, Multi-Family: A building containing four or more dwelling units.

Dwelling, Single-Family, Attached (Townhouse, condominium, or row house): Two or more single family dwellings with common end-walls.

Dwelling, Single-Family, Detached: A detached building containing one dwelling unit.

Dwelling, Three-Family (Triplex): A detached building containing three dwelling units, located on one legal lot.

Dwelling, Two-Family (Duplex): A detached building containing two dwelling units, located on one legal tax lot.

Dwelling Unit: One or more rooms designed for occupancy by one family and not having more than one cooking facility. Includes all conventional and prefabricated housing which meets Uniform Building Code specifications

Easement: A grant of right to use an area of land for a specified purpose.

Educational Facility: Any facility or premises regularly attended by one or more persons for the purpose of instruction. Such facilities may include tutoring businesses and primary, secondary, colligate, and vocational/trade schools.

Entity: Every natural person, firm, partnership, association, social or fraternal organization, corporation, estate, trust, receiver, syndicate, branch of government, or any other group or combination acting as a unit.

16.05 - 4

Extended Care Facility, Convalescent Home, or Nursing Home: A building, or portion thereof, used or designed for the housing of the aged, and/or mentally or physically handicapped persons who are under daily medical, psychological, or therapeutic care; provided that this definition shall not include rooms in any residential dwelling, hotel, or apartment hotel not ordinarily intended to be occupied by said persons.

Farm product processing: The alteration or modification, for the purpose of storage, transport, or sale of an agricultural product produced on a farm site through the addition of other ingredients or components, provided that the initial agricultural product must be the principal ingredient or component. Types of establishments that conduct farm product processing may include canneries, meat packing plants, saw mills, and grain elevators.

Fence, Sight Obscuring: A fence or evergreen planting arranged in such a way as to obscure vision.

Flood or Flooding: A general and temporary condition of partial or complete inundation of normally dry areas from the overflow of water bodies and/or unusual and rapid accumulation of surface water from any source.

Floor Area: The sum of the gross horizontal areas of the several floors of a building, measured from the exterior faces of the exterior walls or from the centerline of walls separating two buildings, but not including:

- A. Attic space providing headroom of less than seven feet;
- B. Basement, if the floor above is less than six feet above grade;
- C. Uncovered steps or fire escapes;
- D. Private garages, carports, or porches;
- E. Accessory water towers or cooling towers;
- F. Accessory off-street parking or loading spaces.

Fraternity or Sorority: An organization formed chiefly to promote friendship and welfare among the members.

Fraternal Lodge: A structure where a group of people meet who are organized for a common interest, usually cultural, religious, or entertainment with regular meetings, rituals, and formal written membership.

Fuel Sales: A business for retail delivery of motor fuels, including but not limited to gasoline, diesel, propane, natural gas, bio-diesel, or hydrogen to individual motor vehicles.

Frontage: All the property on one side of a street between two street intersections, crossing or terminating, measured along the line of the street; or if the street is dead-ended, then all of the property abutting on one side between a street intersection and the

dead-end of the street.

Garage, Private: A detached accessory building or portion of a main building for the parking or temporary storage of vehicles owned or used by occupants of the main building.

Garage, Public: A building, other than private garage, used for the care, repair, or equipping of motor vehicles, or where such vehicles are parked.

Grade: The average elevation of the finished ground level at the center of all walls of the building. In case a wall is parallel to and within five feet of a sidewalk, the ground level shall be measured at the sidewalk.

Greenhouse or Garden, Commercial: A structure or location where plants, vegetable, flowers, and similar materials are grown for sale.

Health Club/Sports Facility: A building designed and equipped for the conduct of sports, or exercise, or other customary and usual recreational activities, operated for profit or not for profit and which is open only to members and guests of the club or facility.

Height of Building: The vertical distance from the "grade" to the highest point of the coping of a flat roof or the deck line of a mansard roof or to the point midway between the ridge and the eaves of a pitch or hip roof.

Hospital or Sanitarium: A building, or portion thereof, used or designed for the medical or surgical treatment of the sick, mentally ill, or injured persons, primarily on an inpatient basis, and including as an integral part, related facilities such as laboratories, outpatient facilities, or training facilities; provided that this definition shall not include rooms in any residential dwelling, hotel, or apartment hotel not ordinarily intended to be occupied by said persons.

Hotel/Motel: A building, or group of buildings, used or intended to be used as living quarters for visitors or transient guests, but not excluding permanent guests, and may include a cafe, drugstore, clothes pressing shop, barber shop, or other service facilities for the guests for compensation. A visitor or transient guest is any visitor or person who owns, rents, or uses a lodging or dwelling unit, or a portion thereof, for less than 30 days and whose permanent address for legal purposes is not the lodging or dwelling unit occupied by the visitor.

Home Occupation: A commercial activity that is conducted within a dwelling unit and/or accessory buildings by members of the family occupying the dwelling, with no servant, employee, or other person being engaged, provided the occupation is conducted in such a manner as not to give an outward appearance, nor manifest any characteristic of a business, in the ordinary meaning of the term, nor infringe upon the rights of neighboring residents. Such occupations shall be a secondary use of the premises.

Hospital: An establishment which provides sleeping and eating facilities to persons receiving medical, obstetrical, or surgical care and with nursing service on a continuous basis.

Hotel: A building in which lodging is provided for guests for compensation and in which no provision is made for cooking in the lodging rooms.

Impervious Surface: Hard surfaces such as roofs and pavement that prohibit water from soaking into the ground.

Industrial, Light: A use engaged in the manufacture, predominantly from previously prepared materials, of finished products or parts, including processing, fabrication, assembly, treatment, packaging, incidental storage, sales, and distribution of such products, but excluding basic industrial processing. Light industrial establishments may include cabinetry/carpentry/woodworking shops, machine shops, welding shops, and sheet metal shops.

Industrial, Heavy: A use engaged in the basic processing and manufacturing of materials or products or parts, predominantly from extracted raw materials, or a use engaged in storage of, or manufacturing processes using flammable or explosive materials, or storage or manufacturing processes that potentially involve hazardous or commonly recognized offensive conditions. Heavy industrial also includes farm product processing establishments, including grain elevators; saw mills, meat packing plants, and canneries.

Land Division: A partition or subdivision of a lot or parcel.

Light Truck: Truck with a gross cargo weight of 1-1/2 tons or less.

Live/Work Townhouse: An attached single family dwelling which is designed to accommodate a commercial business on the ground floor. The commercial or office portion of the building shall be oriented to the front of the building and shall be directly accessible by the primary front entrance.

Livestock: Domestic animals of types customarily raised or kept on farms for profit or other purposes. Refer to Municipal Code Chapter 4.25 Livestock.

Local Improvement District (LID): The area determined to be specially benefitted by a local improvement within which properties are assessed to pay for the cost of the local improvement.

Lot: Unless the context provides otherwise (e.g. a "lot of record"), a unit of land created by subdivision.

Lot of Record: Any lot, or parcel lawfully created by a partition, subdivision, deed, or sales contract that is recorded plat in the Ex Officio County Clerk's Office of Washington County.

Lot Area: The total area of a lot or parcel measured in a horizontal plane within the lot boundary lines exclusive of public and private roads. For flag-shaped lots, the access strip shall not be included in the lot area for the purposes of minimum lot area requirements of this Ordinance.

Lot, Corner: A lot or parcel abutting on two intersecting streets other than an alley provided that the streets do not intersect at an angle greater than 135 degrees.

Lot Coverage: That portion of a lot or parcel covered by buildings and structures usually expressed in percentage of total square feet of lot size.

Lot Depth: The horizontal distance from the midpoint of the front lot or parcel line to the midpoint of the rear lot line.

Lot, Flag: A lot or parcel that does not front on or abut a public road and where access to the public road is usually by a narrow access strip.

Lot Interior: A lot or parcel other than a corner lot or parcel.

Lot Line Adjustment: The relocation or elimination of a common boundary between two legal lots or parcels, provided no new lots or parcels are created.

Lot Line, Front: The line separating the lot or parcel from the street other than an alley, and in the case of a corner or through lot or parcel, the line along a street other than an alley over which the primary pedestrian access to the property is gained. In the case of a flag lot, the front lot line for setback purposes shall be the parallel projection of the shortest side lot line of the driveway flag.

Lot line, Rear: The line which is opposite and most distant from the front lot line. In the case of an irregular, triangular, or other shaped lot, a line ten feet in length within the lot parallel to and at a maximum distance from the front lot line.

Lot Line, Side: Any property line that is not a front or rear lot line.

Lot Width: The average horizontal distance between the side lot lines; ordinarily measured parallel to the front lot line.

Manufactured Home: A structure that has a Department of Housing and Urban Development label certifying that the structure is constructed in accordance with the National Manufactured Housing Construction and Safety Standards Act of 1974 (42 U.S.C. Secs. 5401 et seq.), as amended on August 22, 1981; and is constructed for

movement on the public highways has plumbing, and cooking facilities, is intended for human occupancy, and is being used for residential purposes.

Manufactured Home Park: A place where two or more manufactured homes are located on a lot, tract, or parcel of land under the same ownership, the primary purpose of which is to rent space or keep space for rent to any person or to offer space free in connection with securing the trade or patronage of such a person.

Mixed Use Development: A development that integrates some combination of retail, residential, commercial, office, institutional, recreation, or other functions. It is pedestrian-oriented and contains elements of a live-work-play environment. It maximizes space usage, reduces reliance on the automobile, and encourages community interaction.

Manufactured Home Subdivision: A subdivision intended for and designed to accommodate manufactured homes on individual lots and developed pursuant to the provisions of this Ordinance.

Motel: A building or group of buildings on the same lot or parcel and containing guest units with separate entrances and individual sleeping quarters, detached or in connected rows, with or without cooking facilities, for rental to visitors. The term includes auto courts, tourist courts, tourist homes and motor lodges.

Nonconforming Structure or Use: A lawfully existing structure or use, at the time this Ordinance or any amendment thereto becomes effective, which does not conform, or becomes nonconforming, to the requirements of the zone in which it is located as a result of amendments or other changes to this ordinance..

Parking Space: A space with room for maneuvering and access space required for a standard automobile to park space.

Partition: To divide land into not more than three parcels within a calendar year.

Place of Worship: A building or structure, or group of buildings or structures, that by design and construction are primarily intended for conducting organized religious services and associated accessory uses.

Planned Unit Development: Type of development in which some departure from lot size, density, and other requirements of the underlying zone is permitted in order to accommodate unique physical characteristics and/or facilitate use of innovative building techniques and materials.

Recycling Facility: A facility that involves the separation, collection, and/or processing of metals, glass, paper, plastics, and other materials which would otherwise be disposed of as solid waste, which are intended for reuse, re-manufacture, or re-constitution for the purpose of using the altered form.

Recycling Drop-Off Center: A facility for the drop-off and temporary holding of materials such as paper, cardboard, glass, metal, plastic, batteries, and motor oil. Processing of materials is limited to glass breaking and separation. Recycling materials are not sold to a recycling drop-off center. A recycling drop-off center is intended for household or consumer use. Use by commercial or industrial establishments is not included. Unattended drop-off stations for single materials, such as newsprint, are also not included.

Residential Facility: A residential care, residential training or residential treatment facility, as those terms are defined in ORS 443.400, that provides residential care alone or in conjunction with treatment or training or a combination thereof for six to fifteen individuals who need not be related. Staff persons required to meet licensing requirements shall not be counted in the number of facility residents, and need not be related to each other or to any resident of the residential facility.

Residential Home: A residential treatment or training home, as defined in ORS 443.400, a residential facility registered under ORS 443.480 to 443.500 or an adult foster home licensed under ORS 443.705 to 443.825 that provides residential care alone or in conjunction with treatment or training or a combination thereof for five or fewer individuals who need not be related. Staff persons required to meet licensing requirements shall not be counted in the number of facility residents, and need not be related to each other or to any resident of the residential home.

Restaurant: An establishment that serves food and beverages primarily to persons seated within the building. This includes, but is not limited to, cafes, tea rooms, and outdoor cafes.

Restaurant, Fast Food: An establishment that offers quick food which is accomplished through a limited menu of items already prepared and held for service, or prepared quickly. Orders are not generally taken at a customer's table and food is generally served in disposable wrapping or containers. This type of establishment may or may not include a drive in/thru window.

Retail Sales & Service: Indoor establishments engaged in selling goods and services to the general public for personal or household consumption and rendering services incidental to the sale of such goods.

RV Park: A campground for day use and overnight accommodations by motor homes.

Salvage Yard: A facility or area for storing, keeping, selling, dismantling, shredding, compressing, or salvaging material or equipment. Materials include, but are not limited to, lumber, pipes, metal, paper, rags, tires, bottles, motor vehicle parts, machinery, structural steel, equipment/vehicles, and appliances.

Satellite Dish: As regulated by the FCC, a direct-to-home satellite dish or antenna that is less than one meter in diameter, a TV antenna on a mast less than 12 feet above the roofline, and wireless cable antennas associated with a single family or manufactured home, a townhouse, apartment or condominium. The City may restrict such devices if it is necessary to accomplish a clearly defined safety objective, or is necessary to preserve an historic district listed or eligible for listing in the National Register of Historic Places and imposes no greater restrictions than on other devices.

School, Elementary, Junior High or High School: An institution, public or parochial, offering instruction in the several branches of learning and study, in accordance with the rules and regulations of the State Department of Education.

Scientific Testing/Research Laboratory: An establishment or facility used for carrying on investigation in the natural, physical or social sciences, which may include engineering and product development.

Senior Housing: A residential development which is limited to residents 55 years and over.

Setback: An imaginary line which marks the minimum distance a structure must be located from the property line, and establishes the minimum required front, side, or rear yard space of a building plot.

Sign: An identification, description, illustration, or devise which is affixed to or represented, directly or indirectly, upon a building, structure, or land, and which directs attention to a product, place, activity, person, institution or business.

Sign, Monument: A sign that extends from the ground, or has support which places the bottom of the sign less than two (2) feet from the ground.

Solid Waste Transfer Station: A facility at which solid waste is transferred from one solid waste vehicle to another solid waste vehicle for transportation to a solid waste facility.

Solid Waste Transfer Station, Material Recovery Facility: A solid waste transfer station designed and operated to process waste by utilizing manual and/or mechanical methods to separate useful materials from the incoming waste stream for return to the economic mainstream for use as raw materials or products. This definition includes recycling plants that process discarded metals, glass, paper, plastics, and other materials for re-use.

Storage, Outdoor: The keeping, in an unenclosed area, of any goods, junk, materials, or merchandise in the same place for more than twenty-four hours and not actively being sold.

Storage, Self Service/RV: A structure containing separate, individual, and private storage spaces of varying sizes that may include, but is not limited to, storage areas for Recreational Vehicles (RVs) and boats. Storage for RVs does not include RV parks.

Story: The portion of a building included between the first surface of any floor and the upper surface of the floor next above, except that the top story shall be that portion of a building included between the upper surface of the top floor and the ceiling above. If the finished floor level directly above the basement or cellar is more than six feet above grade, such basement or cellar shall constitute a story.

Street: The entire width between the boundary lines of every way of travel which provides for public use for the purpose of vehicular and pedestrian traffic and the placement of utilities and including the terms "road," "highway," "land," "place," "avenue," "alley," and other similar designations.

Structural Alteration: Any change to the supporting members of a structure including foundation bearing walls or partitions, columns, beams or girders, or any structural change in the roof or in the exterior walls.

Subdivision: To divide an area of land into four or more lots for the purpose of transfer of ownership or building development, whether immediate or future, when such lot exists as a unit or contiguous units.

Substandard lot: A lot which does not meet the lot size requirements of the zoning district in which it is located and is therefore considered a nonconforming property.

Theater: A building or part of a building devoted to showing motion pictures or for dramatic, dance, musical, or other live performances.

Trailer (Travel or Vacation): A vehicle or structure equipped with wheels for highway use that is intended for human occupancy, which is designed primarily for vacation and recreation purposes.

Travel Trailer Parks: An area containing one or more spaces designed for the temporary parking and convenience of travel trailers and similar recreational vehicles.

Truck Stop/Freight/Trucking Terminal: Any building, premises, or land in which or upon which a business, service, or industry involving the maintenance, servicing, storage, or repair of commercial vehicles is conducted or rendered, including the dispensing of motor fuel or other petroleum products directly into motor vehicles and the sale of accessories or equipment for trucks and similar commercial vehicles. A truck stop also may include overnight accommodations and restaurant facilities primarily for the use of truck crews.

Unstable Soil: Soil types which pose severe limitations for development due to potential flooding, structural instability, or inadequate sewage waste disposal, as defined by the

U.S. Soil Conservation Service and identified in the Comprehensive Plan.

Use: The purpose for which land or a structure is designed, arranged, or intended, or for which it is occupied or maintained.

Utility Facility: A site where infrastructure services and structures necessary to deliver basic utilities are undertaken. This includes all lines and facilities provided by a public or private agency and related to the provision, distribution, collection, transmission or disposal of water, storm and sanitary sewage, oil, gas, power, information, telephone cable, electricity and other services provided by the utility.

Variance: The modification of a specific standard in this Ordinance. Variances are granted by the Planning Commission. Minor variances may be approved administratively by the City Planner

Vehicle Wash: A place containing facilities for washing automobiles which may include the automatic or semiautomatic application of cleaner, brushes, rinse water, and heat for drying.

Vehicular Sales, Rental, Repair & Service: Any premises or structures when used for the sales, rental, servicing and/or repair of motor vehicles, including paint and body work, engine rebuilding and minor maintenance activities, irrespective of commercial gain derived there from. Motor vehicles may include, but are not limited to, automobiles, marine craft, motorcycles, and air craft. This use does not include sales, repair/service, and rental of commercial freight trucks/semi-trailers and farm/logging equipment.

Vision Clearance: The triangular area at the intersection of any two streets, a street and a railroad, or a driveway providing vehicular access to a public street, including alleys. These areas provide increased site distance to drivers, pedestrians, wheelchairs, and other users of the intersection. For more details, refer to Chapter 16.16048, Clear Vision Areas.

Warehousing: The storage of goods or merchandise at a facility such as a storehouse.

Waste/Recycling Services: Trash removal and recycling services for residents and business of an area. This may include, but is not limited to, solid waste transfer stations, material recovery facilities, and recycling facilities.

Wholesale Sales/Service: Establishments or places of business primarily engaged in selling merchandise to retailers; to industrial, commercial, institutional, or professional business users; to other wholesalers; or acting as agents or brokers and buying merchandise for, or selling merchandise to, such individuals or companies.

Wireless Telecommunication Facility: An unstaffed facility operating for the transmission and reception of low-power radio signals consisting of an equipment shelter or cabinet, a support structure, antennas, and related equipment.

Wireless Telecommunication Tower: A tall structure with the intended purpose of elevating a Radio Frequency Transmission Facility high above the ground. This definition includes but is not limited to a tower, pole, or mast over 20 feet tall.

Yard: An open space on a lot which is unobstructed from the ground upward except as otherwise provided in this ordinance.

Yard, Rear: A yard between side lot lines measured at a right angles from the rear lot line to the nearest point of a main building.

Yard, Side: A yard between the front and rear yard measured at a right angles from the side lot line to the nearest point of the building.

Chapter 16.125 Lot Development Standards

16.125.000 Purpose

Standards provide for the orderly, safe, efficient and livable development of land within the City of North Plains.

16.125.005 Scope

The provisions of this subsection shall apply to all partitions and subdivisions within the City of North Plains.

16.125.010 Standards for Lots

A. **Minimum lot area:** Minimum lot area shall conform to the requirements of the zoning district in which the lot is located.

B. **Access:** All lots created after the effective date of this Ordinance shall provide a minimum of 20 feet of frontage on an existing or proposed public street, with the following exception:

Flag lots, accessed by a private driveway, may be permitted by the Planning Commission when any of the following conditions are met:

1. The subject property is surrounded by developed properties and the terrain, shape of the parcel, or the location of existing structures precludes accessing the property with a public street.
2. The proposed flag lot(s) front on the arc of a cul-de-sac and the use of flag lots would result in a better lot pattern around the cul-de-sac than that which might otherwise result.
3. The subject property is located in the Commercial or Industrial Zoning District and the Planning Commission finds that full frontage on a public street is unnecessary to the logical development of the property.
4. The Planning Commission finds that the use of flag lots is necessary due to conditions of terrain or other physical features of the property.
5. The Planning Commission finds that the use of flag lots accessing from a collector or local street is preferable to direct access from an arterial street.

C. **Flag Lots:** When authorized by the Planning Commission pursuant to the access requirements of Subsection Chapter 16.125.010 (B)(1), flag lots shall be subject to the following development standards:

1. The access strip shall be a minimum of 15 feet in width, except as required by the Uniform Fire Code. The improved surface shall be a minimum of 12 feet in width, except as required by the Uniform Fire Code. A three-foot wide landscaped planter strip shall be provided between the access strip and the side lot line of the neighboring lot.
2. The access strip shall not be included in the calculation of lot area for purposes of determining compliance with any minimum lot size provision of this Ordinance.
3. The access strip shall be in fee ownership of the property provided access and shall not be as an easement. In the case of multiple lots having the same access strip, all lots served shall have ownership of an equal amount of the access strip. There shall be provided an easement over the remainder of the access strip for each property served.
4. The length of the access strip is subject to the requirements of the Uniform Fire Code, but shall not exceed 200 feet.
5. Where more than one flag lots abut, access shall be via a shared drive wherever possible. The shared drive access strip shall be a minimum of 20 feet in width for two lots, and increased by 5 foot increments for each additional lot, with a maximum of four lots having access off of one access strip, except as required by the Uniform Fire Code. The improved surface shall be a minimum of 16 feet in width for two lots and increased by four feet for each additional lot, except as required by the Uniform Fire Code. A two foot wide vegetated planter strip shall be provided between the access strip and the abutting side lot lines.
6. Setbacks in Residential Zoning Districts. Subsequent development on flag lots in the R-7.5, R-5 and R-2.5 zoning districts shall provide minimum front, rear and side yard setbacks of 10 feet, except that the yard facing the garage door or carport entrance shall be a minimum of 20 feet.

D. **Through Lots:** Through lots shall be avoided except where essential to provide separation of residential development from major traffic arteries, adjacent nonresidential activities, or to overcome specific disadvantages of topography and orientation. Screening or buffering may be required by the Planning Commission during the review of the land division request.

E. **Lot Side Lines:** The side lines of lots, as far as practicable, shall run at right angles to the street upon which the lots face.

F. **Lot Grading:** Lot grading shall conform to the requirements of Chapter 70 of the Uniform Building Code, hereby adopted by reference, and to the following standards unless physical conditions demonstrate the propriety of other standards:

1. Cut slopes shall not exceed one and one-half feet horizontally to one foot vertically.
2. Fill slopes shall not exceed two feet horizontally to one foot vertically.
3. The character of soil for fill and the characteristics of lots and parcels made usable by fill shall be suitable for the purpose intended.

G. **Large Lots:** In dividing tracts into large lots which at some future time are likely to be re-divided, the applicant's tentative plan shall also demonstrate that any redevelopment or re-subdivision may readily take place at the planned residential density without violating the requirements of this ordinance.

The Planning Commission may require that the blocks be of such size and shape, be so divided into building sites and contain such site restrictions as will provide for extension and opening of streets at intervals which will permit a subsequent division of any tract into lots of smaller size.

H. **Land for Public Purposes:** Where a proposed park, school or other public use indicated on the Comprehensive Plan is located in whole or in part within a subdivision, the sub-divider shall dedicate and reserve said area for such purpose. Where the City or other public authority has declared its intention to acquire said area, it shall proceed to perfect the title or a contract right to the same within three (3) years from the date of platting, and failing such, this reservation shall automatically expire. The public body shall expeditiously proceed, within its financial ability, to consummate such acquisitions.

16.125.015 Standards for Blocks

- A. **General:** The length, width, and shape of blocks shall take into account the need for adequate building site size and street width and shall recognize the limitations of the topography.
- B. **Sizes:** Residential Districts shall have a maximum 600 foot block length, a minimum 160 foot street adjacent lot depth, and a 1,600 foot perimeter. Commercial Districts shall have a block length of 400 foot and a 1,200 foot perimeter. Light Industrial Districts shall have a block length of 600-800 feet and a 1,600-2,000 foot perimeter. General Industrial Districts do not have block length or perimeter requirements. A block shall have sufficient width to provide for two tiers of building sites unless topography or the location of adjoining streets justifies an exception.

16.125.020 Easements

- A. **Utility Lines:** Minimum 5 foot wide easements for sewers, water mains, electric lines, or other public utilities shall be dedicated along the front, side, and rear lot or parcel lines of each lot. Easements shall be centered on lot lines.
- B. **Water Courses:** If a tract is traversed by a water course such as a drainage way, channel or stream, a storm water easement or drainage right-of-way shall be provided which substantially parallels the lines of the water course.
- C. **Pedestrian and Bicycle Ways:** When desirable for public convenience and access, a pedestrian or bicycle way easement may be required to connect to a cul-de-sac or to pass through an unusually long or oddly spaced block, or to otherwise provide appropriate circulation.

16.125.025 Improvement Requirements

- A. **Partitions:** During the review of partition proposals, the City shall require as a conditions of approval, the improvement of:
 - 1. Public streets upon which the property fronts to public standards, including: surfacing of street adjacent to property, installation of curbing, storm sewers, sanitary sewers, waterlines and other necessary public utilities.
 - 2. Sidewalks, five feet in width, along public street frontage.
 - 3. Paved private driveways serving flag lots.

All improvements required under this subsection shall be completed or assured through an irrevocable letter of credit, assignment of bank account, performance bond or other instrument acceptable to the City Attorney prior to the issuance of building permits.

- B. **Subdivisions:** The following improvements shall be required for all subdivisions in the City of North Plains.
 - 1. **Frontage improvements:** Street improvements to full City Standards shall be required for all public streets on which a proposed subdivision fronts. Such improvements shall be blended to match with existing improved surfaces across the centerline and for a reasonable distance beyond the frontage of the property. Additional frontage improvements shall include: sidewalks, curbing, storm sewer, sanitary sewer, waterlines, other public utilities as necessary, and such other

improvements as the City shall determine to be reasonably necessary to serve the development or the immediate neighborhood.

2. **Proposed Streets**: All public streets within the subdivision shall be constructed as required by the provisions of the Street Standards section of this chapter.
3. **Monuments**: Upon completion of street improvements, monuments shall be reestablished and protected in monument boxes at every street intersection and all points of curvature and points of tangency of street center lines. Elevation bench marks shall be established at each street intersection monument with elevations to U.S. Geological Survey datum.
4. **Sanitary Sewers**: Sanitary sewers shall be installed to serve the subdivision and to connect the subdivision to existing mains both on and off the property being subdivided.

If the required sewer facilities will, without further sewer construction, directly serve property outside the subdivision, the Planning Commission may recommend to the City Council construction as an assessment project with such arrangement with the sub-divider as is desirable to assure financing his share of the construction.

The City may require that the sub-divider construct sewage lines of a size in excess of that necessary to adequately serve the development in question, where such facilities are or will be necessary to serve the entire area within which the development is located when the area is ultimately developed. The City may also require that the construction take place as an assessment project with such arrangement with the sub-divider as is desirable to assure his share of the construction.

5. **Water System**: Water lines with valves and fire hydrants serving the subdivision and connecting the subdivision to the city mains shall be installed. The design shall take into account provisions for extension beyond the subdivision to adequately grid the City system and to serve the area within which the development is located when the area is ultimately developed.
6. **Street Lights and Street Trees**: The installation of street lights and street trees is required at locations and of a type established by City standards.
7. **Street Signs**: The installation of street name signs and traffic control signs is required at locations determined to be appropriate by the City and shall be of a type established by City standards.

All improvements required under this subsection shall be completed to City standards, or assured through an irrevocable letter of credit, assignment of bank account, performance bond or other instrument acceptable to the City Attorney, prior to the approval of the Final Plat of the subdivision.

16.125.030 Improvements Procedures

Improvements installed by a developer for any land division, either as a requirement of these regulations or at his own option, shall conform to the requirements of this Ordinance and improvement standards and specifications adopted by the City, and shall be installed in accordance with the following procedure:

- A. Improvement work shall not be commenced until plans have been checked for adequacy and approved by the City. Plans shall be prepared in accordance with requirements of the City.
- B. Improvement work shall not be commenced until the City has been notified in advance; and, if work has been discontinued for any reason, it shall not be resumed until the City has been notified.
- C. Improvements shall be constructed under the inspection and to the satisfaction of the City. The City may require changes in typical sections and details in the public interest, if unusual conditions arise during construction to warrant the change.
- D. All underground utilities, sanitary sewers, and storm drains installed in streets by the sub-divider shall be constructed prior to the surfacing of the streets. Stubs for service connections for underground utilities and sanitary sewers shall be placed to a length eliminating the necessity for disturbing the street improvements when service connections are made.
- E. A map showing all public improvements as built shall be filed with the superintendent of public works upon completion of the improvements.

Chapter 16.130
LAND PARTITIONING

16.130.000 Definition

Partition: A partition is required for a land division that creates two (2) or three (3) parcels in a calendar year.

16.130.005 General Provisions

- A. All partitions shall conform to all applicable Zoning District Standards, Development Standards of this ordinance and the comprehensive plan.
- B. A master plan for development shall be required for any application which leaves a portion of the subject property capable of redevelopment.
- C. Partition approval is valid in perpetuity, upon recording of the final partition plat.
- D. A parcel within an approved partition may not be re-divided within the same calendar year in which it was recorded except through the subdivision process.
- E. A tentative partition that creates a public road to access any of the proposed parcels shall be reviewed at a public hearing of the Planning Commission pursuant to the provisions of Public Hearings in this chapter.
- F. Notice of the public hearing shall be provided in accordance with the provisions of Public Notice Requirements in this chapter.
- G. Approval of a Tentative Map for a partition is valid for one (1) year after the date of the written decision. A final plat map for a partition shall be approved and recorded within this one (1) year time period or the tentative approval shall lapse.
- H. Requests for extensions of partition approvals may be made in accordance with the provisions of this chapter.

16.130.010 Submittal Requirements for Tentative Partition Review

- A. An application for a partition shall be submitted on forms provided by the City and accompanied by the appropriate filing fee.
- B. An application shall include one (1) copy of a tentative partition drawn to scale and shall contain, at a minimum, the following:

1. Name and address of the owner of the property to be divided.
2. Legal description of the property and Tax Lot ID (TLID) by Township, Range, Section and Tax Lot.
3. North arrow and scale.
4. Comprehensive Plan and Zoning designations for the subject property.
5. Individual parcel designation, e.g. Parcel I, Parcel II.
6. Dimensions and size in square feet or acres of all proposed parcels.
7. Adjacent property under the same ownership.
8. All adjacent roads (public or private), including name and road width.
9. Location and size of all existing and proposed utilities.
10. All existing structures on the property and their setbacks.
11. Natural drainage ways, streams, wetlands or other significant natural features of the property.
12. Existing or proposed easements.

16.130.015 Process for Tentative Partition Review

A tentative partition that does create a public road to access any of the proposed parcels shall be reviewed administratively by the City. Conditions may be attached to the approval of a tentative partition.

A tentative partition that creates a public road to access any of the proposed parcels shall be reviewed at a public hearing of the Planning Commission. The Planning Commission may require dedication of land and easements and may specify conditions or modifications in the tentative plan as necessary. In no event, however, shall the Planning Commission require greater dedications or conditions than would be required if the tract were subdivided.

16.130.016 Partition Approval Criteria

The City may approve, approve with conditions or deny a preliminary partition plat based on the approval criteria of this chapter including the Subdivisions section.

16.130.020 Process for Final Partition Approval

A. Survey Submitted

Within one (1) year of the written decision approving a tentative partition, two (2) copies of the final survey of the approved partition shall be submitted to the City for review. If the final survey is not submitted within one year, the tentative approval shall lapse.

B. Final Approval

If the final survey of the partition is consistent with the approved partition, if the conditions of approval have been satisfied, and if the City Council has accepted dedication of any newly created public roads by either accepting a deed of dedication on a form acceptable to the City or authorizing the mayor or other City Council designee to sign an acceptance of dedication on the final plat map, the City shall mark the survey map "Approved" and shall:

1. Transmit one copy of the approved partition or the original mylar with acceptance of public road dedication to the applicant for recording, and
2. Retain one copy for the City's files, and
3. Send a final approval letter to the County Surveyor with instructions for final review and recording of the final plat.

C. Recording of Approved Partition Required

The applicant is responsible for recording the approved Partition with the Washington County Records Office. A building permit shall not be issued, or parcel sold, transferred or assigned, until the approved Partition has been recorded.

D. Improvements/Bonding

Prior to issuance of a building permit, all improvements required by the Conditions of Approval shall be constructed or the construction shall be guaranteed through an irrevocable letter of credit, assignment of bank account, performance bond or other instrument acceptable to the City Attorney. If ownership of a parcel is transferred prior to satisfaction of the Conditions of Approval, the new owner shall be notified in writing of these Conditions by the transferor.

**Chapter 16.135
Subdivisions**

16.135.000 Definition

“Subdivision”, for the purpose of this Ordinance, means to divide an area of land into four or more lots for the purpose of transfer of ownership or building development, whether immediate or future, when such lot exists as a unit or contiguous units.

16.135.005 General Provisions

- A. All subdivisions shall conform to applicable Zoning District Standards, Development Standards of this ordinance and the comprehensive plan.
- B. A master plan for development shall be required for any application which leaves a portion of the subject property capable of redevelopment.
- C. Pre-application conferences shall be required prior to the submittal of all subdivision applications. The City Manager may waive this requirement.

16.135.010 Submittal Requirements for Tentative Subdivision Plans

- A. All Subdivision applications shall be submitted on forms provided by the City and accompanied by the appropriate filing fee.
- B. Each application shall include one (1) copy of the tentative subdivision plan drawn on a sheet of 18 x 24 inches in size at a scale of 1 inch equals 100 feet.
- C. The following information shall be shown on the tentative subdivision plan:
 - 1. Proposed name of the subdivision. This name shall not duplicate or resemble the name of any other subdivision in the county and shall be approved by the Planning Commission and the County Surveyor.
 - 2. Date, north point and scale of drawing.
 - 3. Appropriate identification of the drawing as a tentative plan.
 - 4. Description of the subdivision sufficient to define its location and boundaries and legal description of the tract boundaries.
 - 5. Names and addresses of the owner, subdivider, and engineer, surveyor or planner.

6. The location, widths and names of both improved and unimproved streets within or adjacent to the tract, together with easements and other important features such as section lines, section corner, city boundary lines and monuments.
7. Contour lines related to some established bench mark or other datum approved by the city engineer and having minimum intervals as follows:
 - a. For slopes of less than five per cent: two feet, together with not less than four spot elevations per acre, evenly distributed, if necessary.
 - b. For slopes of five percent to 15 percent: five feet.
 - c. For slopes of 15 percent to 20 percent: ten feet.
 - d. For slopes of over 20 percent: 20 feet.
8. The location of at least one temporary bench mark within the subdivision boundaries pursuant to ORS 96.060.
9. The location and direction of water courses and the location of areas subject to flooding and/or within a designated 100-year flood plain.
10. Natural features such as rock outcroppings, marshes, wooded areas and isolated preservable trees having a caliper (diameter) of 6 inches or greater at 4 feet above grade.
11. Existing uses of the property and location of existing structures designated historic and cultural resources on the site and structures to remain on the property after platting.
12. A vicinity map showing existing subdivisions and unsubdivided land ownerships adjacent to the proposed subdivision and showing how proposed streets and utilities may be extended to connect to existing streets and utilities.
13. Proposed deed restrictions, if any, in outline form.
14. The location of existing sewage disposal facilities, water mains, culverts, storm drainage facilities and electric lines within and adjacent to the subdivision.
15. The location, width, names, approximate grades and radii of curves of proposed streets as shown on any development plan.

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16. Dimensions and area of each proposed lot.
17. Proposed lot and block numbers.
18. Proposed sites, if any, allocated for development,
19. If the proposed subdivision includes only part of the tract owned or controlled by the subdivider, the City or Planning Commission may require a sketch or tentative layout for streets and lots in the unsubdivided portion.
20. Any of the following may be required by the City or Planning Commission to supplement the tentative subdivision plan:
 - a. Approximate center line profiles with extensions for a reasonable distance beyond the limits of the proposed subdivision showing the finished grade of streets and sidewalks and the nature and extent of street construction.
 - b. A schematic plan for domestic water supply lines and related water service and sewage disposal facilities.
 - c. Proposals for storm water drainage and flood control, including profiles of proposed drainage ways.
 - d. If lot areas are to be graded or filled, a plan showing the nature of cuts and fills and information on the character of the soil.
 - e. Proposals for other improvements such as electric utilities.

16.135.011 Preliminary Plat Approval Criteria

The City may approve, approve with conditions or deny a preliminary plat based on the following approval criteria:

- A. The proposed preliminary plat complies with the applicable Development Code chapters and all other applicable ordinances and regulations. At a minimum, the provisions of this section and the applicable sections of this chapter including Zoning Districts, Development Standards, and Streets and Facilities shall apply. Where a variance is necessary to receive preliminary plat approval, the application shall also comply with the Variance section of this chapter;
- B. The proposed plat name is not already recorded for another subdivision, and satisfies the provisions of ORS Chapter 92;

- C. The proposed streets, roads, sidewalks, bicycle lanes, pathways, utilities, and surface water management facilities are laid out so as to conform or transition to the plats of subdivision and maps of major partitions already approved for adjoining property as to width, general direction and in all other respects. All proposed public improvements and dedications are identified on the preliminary plat;
- D. All proposed private common areas and improvements (e.g. homeowners association property) are identified on the preliminary plat;
- E. Evidence that any required State and federal permits have been obtained, or shall be obtained before approval of the final plat;
- F. Evidence the improvements or conditions required by the City, road authority, Washington County, Clean Water Services, special districts, utilities, and/or other service providers, as applicable to the project, have been or can be met;
- G. A Traffic Impact Study (TIS) has been provided, if applicable, in accordance with the provisions of Chapter 16.170; and
- H. If any part of the site is located within a Specific Area Plan District, Overlay District, or previously approved Master Planned Development, it shall conform to the applicable regulations and/or conditions.

16.135.012 Lot Access Provisions

In addition to the provisions of this chapter, all lots and parcels shall conform to the specific requirements below, as applicable:

- A. In conformance with the Uniform Fire Code (UFC), a 20-foot wide fire apparatus drive shall be provided to serve all portions of a building that are located more than 150 feet from a public right-of-way or approved access drive.
- B. When a common drive is to be provided to serve more than one lot, a reciprocal easement which will ensure access and maintenance rights shall be recorded with the approved subdivision or partition plat. The minimum drive width shall be 10 to 15 feet, except as required by the UFC, and improved with an all- weather surface approved by the City.
- C. Access reserve strips may be required to be granted to the City for the purpose of controlling access to adjoining undeveloped properties.
- D. Street and building placement and alignment shall be designed so that all future street connections can be made as surrounding properties develop.

16.135.013 Flag Lot

Flag lots may be created only when a through street or mid-block lanes cannot be extended to serve abutting uses or future development. A flag lot driveway (“flag pole”) may serve no more than two (2) dwellings units, including accessory dwellings and dwellings on individual lots, unless Uniform Fire Code (UFC) standards are met for more units. When UFC standards are met, the maximum number of dwellings shall be four (4). A driveway serving more than one lot shall be a minimum of 15 feet wide, except as required by the UFC, and have a reciprocal access and maintenance easement recorded for all lots. No fence, structure or other obstacle shall be placed within the drive area. The Fire Marshal may require an emergency turn-around. Fire sprinklers may also be required for buildings that cannot be fully served by fire hydrants due to distance from a hydrant of insufficient fire flow.

16.135.014 Conditions of Approval

The City may attach such conditions as are necessary to carry out provisions of this code, and other applicable city ordinances and state regulations.

16.135.015 Preliminary Review of Tentative Subdivision Plan

- A. Upon receipt of a complete application, the City shall refer copies of the tentative subdivision plan and supplementary material to affected agencies for review and comments.
- B. The City shall prepare a staff report and recommendation on the tentative subdivision plan for the Planning Commission. The City may recommend approval of the tentative plan as submitted or as it may be modified in accordance with Section 16.135.011 Preliminary Plat Approval Criteria. The City may attach any reasonable conditions found necessary to carry out the purposes of this or any other City ordinance or State statute.
- C. If the City recommends denial, the staff report and recommendation shall set out clearly the grounds for denial and shall clearly inform the applicant of the changes or modifications needed to allow the lawful division of the property.
- D. Upon receipt of the City 's staff report and recommendation, the Planning Commission shall hold a public hearing to give consideration to the tentative subdivision plan. The Planning Commission may approve the tentative plan as submitted or as it may be modified by recommendation of the City or Planning Commission.

- E. Approval of the tentative plan shall indicate approval of the final plat if there is no change in the plan of the subdivision and if the subdivider complies with the requirements of this ordinance.
- F. The action of the Planning Commission shall be noted on two copies of the tentative plan, including reference to any attached documents describing conditions. One copy shall be retained by the City and the other shall be returned to the applicant with a written statement of the Commission's action.

16.135.020 Expiration of Tentative Approval

Approval of the tentative plan shall become null and void if a final plat in accordance with these regulations is not submitted within one year after the date of the approval of the tentative plan. If the subdivider cannot complete the preparation of the final plat within the one year time period, he may petition the commission an extension of the subdivision approval in accordance with the provisions of Section 16.00.080

16.135.025 Phasing of Development

If requested in the original application, a large subdivision may be approved for phased development. The final plat for the first phase of such a phased subdivision shall be submitted within one year of the date of approval of the tentative plan. Final plats of subsequent phases may be submitted after the one year limitation, provided that each phase complies with the approved tentative plan of the subdivision. Request for extensions of subdivision approvals may be made in accordance with the General Provisions of this chapter, However, in no case shall the final plat for the last phase be submitted more than 10 years after the approval of the tentative plan.

16.135.030 Final Subdivision Plat

A. Submittal of Final Subdivision Plat

Within one year after approval of the tentative plan, the sub-divider shall have the subdivision surveyed and a plat prepared which conforms to the approved tentative plan. Unless a request for an extension of the subdivision approval is made in accordance with the provisions of Section 16.00.080.

B. Information on Plat

The applicant shall submit one (1) original and five (5) copies of the final subdivision plat. The following information shall be included on the plat:

1. Reference points of existing surveys identified, related to the plat by distance and bearings, and referenced to a field book or map as follows:

- a. Stakes, monuments or other evidence found on the ground and used to determine the boundaries of the subdivision.
 - b. Adjoining corners of adjoining subdivisions.
 - c. Other monuments found or established in making the survey of the subdivision or required to be installed by provisions of this ordinance.
2. The exact location and width of streets and easements intercepting the boundary of the tract.
3. Tract, block and lot boundary lines and street right-of-way and center lines, with dimensions, bearing or deflection angles, radii, arcs, points of curvature and tangent bearings. Normal high water lines for any creek or other body of water and any designated 100-year flood plains. Tract boundaries and street bearings shall be shown to the nearest 30 seconds with basis of bearings. Distances shall be shown to the nearest 0.01 feet.
4. The width of the portion of streets being dedicated and width of existing right-of-way. For streets on curvature, curve data shall be based on the street center line. In addition to the center line dimensions, the radius and central angle shall be indicated.
5. Easements denoted by fine dotted lines, clearly identified and, if already of record, their recorded reference. If an easement is not definitely located of record, a statement of the easement shall be given. The width of the easement, its length and bearing, and sufficient ties to locate the easement with respect to the subdivision shall be shown. If the easement is being dedicated by the map, it shall be properly referenced in the owner's Certificate of Dedication.
6. Lot numbers beginning with the number "1" and continuing consecutively without omission or duplication throughout the subdivision.
7. Identification of land to be dedicated for any purpose, public or private, to distinguish it from lots intended for sale.
8. Building setback lines, if any, are to be made a part of the subdivision restrictions.
9. The following certificates which may be combined where appropriate:

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- a. A certificate signed and acknowledged by all parties having any record title interest in the land, consenting to the preparation and recording of the plat.
- b. A certificate signed and acknowledged as above, dedicating all land intended for public use except land which is intended for exclusive use of the lot owners in the subdivision, their licenses, visitors and tenants.
- c. A certificate with the seal of and signed by the engineer or surveyor responsible for the survey and final map.
- d. Other certifications now or hereafter required by law.

C. Supplemental Information with Plat

The following information shall accompany the final plat:

1. A preliminary title report issued by a title insurance company in the name of the owner of the land, showing all parties whose consent is necessary and their interest in the premises.
2. Sheets and drawings showing the following:
 - a. Traverse data including the coordinates of the boundary of the subdivision and ties to section corners and donation land claim corners, and showing the error of closure, if any.
 - b. The computation of distances, angles and courses shown on the plat.
 - c. Ties to existing monuments, proposed monuments, adjacent subdivisions, street corners and state highway stationing.
1. A copy of any deed restrictions applicable to the subdivision.
2. A copy of any dedication requiring separate documents.
3. A list of all taxes and assessments on the tract which have become a lien on the tract.

D. Technical Plat Review

1. Upon receipt of the final plat, the plat and other data shall be reviewed by the City to determine that the subdivision as shown is substantially the same as it

appeared on the approved tentative plan and that the subdivision is in compliance with provisions of state law and this ordinance.

2. The City Engineer may make such field checks as are necessary to verify that the map is sufficiently correct on the ground.
3. If the City Engineer and City determine that changes of additions must be made to the final plat, they shall notify the sub-divider and afford the sub-divider an opportunity to make the changes or additions.

16.135.035 Final Subdivision Plat Review

- A. The final subdivision plat shall be submitted to the Planning Commission for review pursuant to the Application Review section of this chapter. The Planning Commission shall review the plat to assure compliance with the approved preliminary plat and with the conditions of approval. The Planning Commission Chairman or Commission designee shall signify Planning Commission approval of the final plat by signing the recorder's plat sheet and exact duplicate. However, if the plat includes dedication of any newly created public roads the City Council shall either accept a deed of dedication on a form acceptable to the City, or authorize the mayor or other City Council designee to sign an acceptance of dedication on the final plat.
- B. A sub-divider shall, without delay, submit the plat for signatures of other public officials required by law. Approval of the final plat shall be null and void if the plat is not recorded within 90 days after the date of the last required approving signature has been obtained.
- C. At the time of submittal for final approval, the sub-divider shall pay to the City a final plat filing fee to defray the cost incurred by the City in checking, investigating, and otherwise reviewing the final plat for conformance to all applicable laws. The final plat filing fee must be paid at the time of submittal, in no way assures approval and cannot be refunded.

16.135.040 Improvements/Bonding

Prior to the recording of the Final Subdivision Plat, all improvements required by the conditions of approval shall be constructed or the construction shall be guaranteed through an irrevocable letter of credit, assignment of bank account, performance bond, cash or other instrument acceptable to the City Attorney. The assurance sum shall cover the cost of the improvements and repairs, including related engineering and incidental expenses identified in an itemized improvement estimate provided by the developer and certified by a registered civil engineer. A Development Agreement between the City and the developer shall be recorded with the final plat. In the event

the developer fails to carry-out the provisions of the agreement, and the City has unreimbursed costs or expenses resulting from such failure, the City shall call on the bond, cash deposit letter of credit or other instrument for reimbursement. The developer shall not cause termination of nor allow expiration of the guarantee without first having secured written authorization from the City.

16.135.050 Re-platting, Vacation, or Changes to Approved Land Divisions

Any plat or portion thereof may be re-platted or vacated upon receiving an application signed by all the owners as appearing on the deed or current title report. Further any change to a map of an approved or recorded land division that affects a street, public use, property line, number of lots, or the provision of public services may be requested upon receiving application by all owners as appearing on the deed. All requests for a re-plat, a plat vacation or a change to an approved or recorded land division shall be processed in accordance with the procedures and standards for approval of a subdivision or partition.

Chapter 16.150 Street Standards

16.150.000 Purpose

- A. To provide for safe efficient, and convenient vehicular movement in the City of North Plains.
- B. To provide adequate access to all proposed developments in the City of North Plains.
- C. To provide adequate area in all public rights-of-way for sidewalks, sanitary sewers, storm sewers, waterlines, natural gas lines, power lines and other utilities commonly and appropriately placed in such rights-of-way.

16.150.005 Scope

The provisions of this Subsection shall be applicable to:

- A. The construction, dedication or creation of all new public or private streets in all subdivisions, partitions or other developments in the City of North Plains.
- B. The extension or widening of existing public or private street rights-of-way, easements, or street improvements, including those which may be proposed by an individual or the City, or which may be required by the City in association with other development approvals.
- C. The construction or modification of any utilities or sidewalks in public rights-of-way or private street easements.

16.150.010 General Provisions

The following general provisions shall apply to the dedication, construction, improvement or other development of all public streets in the City of North Plains:

- A. **The location, width, and grade of streets** shall be considered in their relation to existing and planned streets, to topographical conditions, to public convenience and safety, and to the proposed use of the land to be served by the streets.
- B. **Development proposals** shall provide for the continuation of existing principal streets where necessary to promote appropriate traffic circulation in the vicinity of the development.

- C. **Reserve strips**: Reserve strips or street plugs controlling the access to streets will not be approved unless necessary for the protection of the public welfare or of substantial property rights, and in these cases they may be required. The control and disposal of the land composing such strips shall be placed within the jurisdiction of the City under conditions approved by the Planning Commission.
- D. **Alignment**: All streets other than minor streets or cul-de-sacs, as far as practical, shall be in alignment with existing streets by continuation of the center lines thereof. The staggering of street alignments resulting in "T" intersections shall, wherever practical, leave a minimum distance of 200 feet between the center lines of streets having approximately the same direction and otherwise shall not be less than 100 feet.
- E. **Future extension of streets**: Where necessary to give access to or permit a satisfactory future development of adjoining land, streets shall be extended to the boundary of a tract being developed and the resulting dead-end streets may be approved without turnarounds. Reserve strips and street plugs may be required to preserve the objectives of street extensions.
- F. **Intersection angles**: Streets shall be laid out to intersect at angles as near to right angles as practical, except where topography requires lesser angle, but in no case shall the acute angle be less than 80 degrees unless there is a special intersection design. An arterial or collector street intersecting with another street shall have at least 100 feet of centerline tangent adjacent to the intersection unless topography requires a lesser distance. Other streets, except alleys, shall have at least 50 feet of tangent adjacent to the intersection unless topography requires a lesser distance. Intersections which contain an acute angle of less than 80 degrees or which include an arterial or collector street shall have a minimum corner radius sufficient to allow for a roadway radius of 20 feet and maintain a uniform width between the roadway and the right-of-way line. All other intersections shall have a minimum corner radius sufficient to allow for a roadway radius of 10 feet and maintain a uniform width between the roadway and the right-of-way line. Ordinarily, the intersection of more than two streets at any one point will not be approved.
- G. **Existing streets**: Whenever existing public streets adjacent to or within a tract are of inadequate width, additional right-of-way shall be provided at the time of subdivision or development.
- H. **Cul-de-sacs**: Cul-de-sacs shall be as short as possible, and shall have maximum lengths of 600 feet and shall not serve more than 20 dwelling units. All cul-de-sacs shall terminate with circular turnarounds. Commercial and industrial cul-de-sacs shall have a minimum 55' bulb radius. Additional cul-de-sac specifications, including specifications for residential cul-de-sacs, are

contained within the most recently adopted public works/street standards of the City of North Plains and/or Washington County development standards.

- I. **Street names**: No street names shall be used which will duplicate or be confused with the names of existing streets, except for extensions of existing streets. Street names and number shall conform to the established pattern in the City and shall be subject to the approval of the Planning Commission.

- J. **Grades and curves**: Grades shall not exceed 6 percent on arterials, 10 percent on collector streets or 12 percent on any other street. Center line radii of curves shall not be less than 300 feet on arterials, 200 feet on collectors or 100 feet on other streets, and shall be to an even 10 feet. Where existing conditions, particularly topography, make it otherwise impractical to provide buildable sites, the Planning Commission may accept steeper grades and sharper curves. In flat areas, allowance shall be made for finished street grades having a minimum slope of 0.5 percent.

- K. **Marginal access streets**: If a development abuts or contains an existing or proposed arterial street, the Planning Commission may require marginal access streets, reverse frontage lots with suitable depth, screen planting contained in a non-access reservation along the rear or side property line, or such other treatment as may be necessary for adequate protection of residential properties and to afford separation of through and local traffic.

- L. **Alleys**: Alleys shall be provided in commercial and industrial districts unless other permanent provisions for access to off-street parking and loading facilities are made as approved by the Planning Commission. While alley intersections and sharp changes in alignment shall be avoided, the corners of necessary alley intersections shall have radii of not less than 10 feet.

- M. **Sidewalks** shall be a minimum of five feet in width. Curbs and sidewalks shall be required along both sides of all public streets. All new development upon lots, tracts or parcels of land adjacent to a public street will be required to construct curbs and sidewalks.

- N. Street trees, where provided, shall not be of a species which has a shallow spreading root system which is likely to disturb sidewalk or street improvements.

- O. **Access Spacing Standards** shall, to the greatest extent possible, comply with Washington County's standards and the most recently adopted public works/street standards of the City of North Plains. Washington County's access spacing standards by street functional classification are as follows:

Major Arterial: 1,000 feet
Minor Arterial: 600 feet

Major Collector: 150 feet
Minor Collector: 50 feet
Local Street: 10 feet

16.150.115 General Right-of-Way and Improvement Widths

Construction specifications for all street and right-of-way improvement widths shall comply with the criteria of the most recently adopted public works/street standards of the City of North Plains, the North Plains Transportation System Plan, and/or Washington County standards. These standards shall be the minimum requirements for all streets, except where modifications are permitted under this chapter or the Street Standard adopted by the City Council of North Plains, whichever is less restrictive. Refer to Figures 5-2A-5-2P in the Transportation System Plan for detailed diagrams depicting street right-of-way, improved, and roadway width requirements.

16.150.020 Modification of Right-of-Way and Improvement Width

The Planning Commission may allow modification to the public street standards of this chapter when both of the following criteria are satisfied.

- A. The modification is necessary to provide design flexibility in instances where:
 - 1. Unusual topographic conditions require a reduced width or grade separation of improved surfaces; or
 - 2. Parcel shape or configuration precludes accessing a proposed development with a street which meets the full standards of the City of North Plains or
 - 3. A modification is necessary to preserve trees or other natural features determined by the Planning Commission to be significant to the aesthetic character of the area; or
 - 4. A Planned Unit Development is proposed and the modification of street standards is necessary to provide greater privacy or aesthetic quality to the development.
- B. Modification of the Street Standards of this chapter shall only be approved if the Planning Commission finds that the specific design proposed provides adequate vehicular access based on anticipated traffic volumes. If there is insufficient area of on-street parking, the Planning Commission may require additional off-street parking and require that the street be posted to prohibit parking along one or both sides of the street.

16.150.025 Construction Specifications

Construction specifications for all public improvements shall comply with the criteria of the most recently adopted public works/street standards of the City of North Plains.

16.31.070 Bikeways and Sidewalks Required on Arterials and Collectors

- A. Glencoe Road: Include bicycle lanes and sidewalks on both sides of the road. This would provide connectivity to the existing sidewalks and future growth to the east of Glencoe Road.
- B. Commercial Street: Include bicycle lanes and sidewalks on both sides of the road. A detailed plan should be developed to make sure these facilities coexist with parking demand in the downtown area.
- C. North Avenue: On the near term a sidewalk should be constructed on the south side of North Avenue to connect the existing sidewalk to Gordon Road. Sidewalks should also be added on the south side of North Avenue between NW 309th Avenue and Glencoe Road. These improvements would complete a system of sidewalks on North Avenue in addition to providing connectivity to the adjacent street system. In the Long term sidewalks should to added to the north side of North Avenue also.
- D. Gordon Road: Provide sidewalk on the east side. This improvement will facilitate a connection to the future extension of sidewalk on the south side of North Avenue and to sidewalks along Commercial Street.

Planning and Building Activity

Fiscal Year 2014-15

Applications Received

Building Activity	Review	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun
New House Permit	1	0	4	11	3	34		1		23			
Remodel Permit	1	1	0	0			1						
Demolition	1	1	1	1									
Right of Way Permit	1		4	11	3	34							
Planning Activity	Review	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun
Annexation	3, C												
Comp Plan Amendment	3, C												
Conditional Use	3												
Design Review	3												
Fence	1								1	2			
Flood Plain Development	3					1				1			
Historic Overlay	2 or 3	1											
Home Occupation	2												
Lot Line Adjustment	2	4											
Mobile Home Park	3												
Non-Conformin Use	3												
Partition	2												
Sign permit	1				1	1							
Similar Use	3												
Significant Natural Resource	3					1				1			
Street Vacation	4												
Subdivision	3					1				1			
Subdivision Final Plat	3												
Subdivision Modification	2												
Subdivision Modification	3												
Temporary Use	1												
Variance	1 or 2	1								2			
Variance	3					1				1			
Zone Change	3												
Zone Code Amendment	3												
Appeal	3												
Appeal	C												
Pre- Application Conferences		1			1	1							

Review - 1 = Administrative, 2 = City Planner, 3 = Planning Commission, C = Council